Planning Memorandum

To: Sunfish Lake Mayor Dan O'Leary and City Council Members

From: Lori Johnson, City Planner

Date: October 3, 2023

Re: 114 Salem Church Road – Major Site and Building Plan Review
WSB Project No. 022986-000
SFL No. 04-2023

GENERAL INFORMATION

Applicant:	M & M Homes
Property Owner:	Jon and Alyssa Ylinen
Project Location:	114 Salem Church Road – PID 384750001021
Acreage:	5.66 acres
Existing Land Use / Zoning:	Single-Family Residential; Zoned R-1
Surrounding Land Use / Zoning:	North: Residential; Zoned Single-Family Residential District R-1 East: Residential; Zoned Single-Family Residential District R-1 South: Residential; Zoned Single-Family Residential District, R-1 West: Residential; Zoned Single-Family Residential District R-1
Comprehensive Plan:	The City of Sunfish Lake (2040) Comprehensive Plan guides this property for Rural Residential land use.
Deadline for Agency Action:	Application Date: 05-24-2023 (complete on 08.11.23) 60 Days: 10-21-2023 Extension Letter Mailed: NA 120 Days: NA
Attachments:	Location Map Existing Site Map Site Construction Plans Certificate of Survey Tree Preservation/Landscape Plans Architectural Review Narrative Architectural Plans Lighting Plan Engineer's Memo

701 XENIA AVENUE S | SUITE 300 | MINNEAPOLIS, MN | 55416 | 763.541.4800 | WSBENG.COM

CONSIDERATIONS RELATED TO THE REQUEST

1. Overview.

M & M Homes, applicant and owners Jon and Alyssa Ylinen, are proposing to build a 9,502 square foot home at 114 Salem Church Road. This square footage includes the attached garage. The lot on which the home is proposed is currently heavily wooded and vacant. New homes require the review and approval of a major site and building plan according to Section 1208.02C of the Zoning Ordinance.

2. General Zoning Review—New Home

Setbacks: The new home and attached garage are set back at a distance greater than what is required by the ordinance. The required front yard setback is 100 feet, and the required side and rear yard setbacks are 50 feet. The front yard setback of the proposed home is 156.9 feet. The side yard setbacks for the proposed home are 72.3 feet and 252.3 feet. The rear yard setback for the proposed home is 529.2 feet.

Impervious Surface and Building Coverage: The total proposed impervious surface coverage for the lot on which the home is to be located is 3.42%. The total impervious surface coverage allowed is 30% and this plan meets this requirement.

The total building coverage allowed on the lot cannot be greater than 10% per ordinance requirements. The building coverage on the home lot is 1.77% which meets ordinance requirements.

Accesses: The new home will have an access on a shared private road (Horseshoe Lane) which connects to Salem Church Road. The owners of 114 Salem Church Road will be required to provide proof that they have informed the other property owners who access this road that they will be responsible for any damage to the private road that occurs during construction. It is encouraged that pictures be taken before and after construction to document potential changes to the roadway due to construction. Because this is a private road, the city can take no responsibility for damage to the road and will not be responsible for any subsequent repairs to the road.

Size: The home that is being constructed is 9,502 square feet including the attached garage.

Exterior Elevations and Height: The exterior home elevations include smart siding, metal roof elements, glass. The overall height of the structure is 29.11 feet from the average ground level prior to construction. The height requirement in the zoning ordinance is 30 feet and this home meets the ordinance requirement.

Tree Preservation: This site is heavily wooded. It is nearly impossible to build a home on this lot without removing many trees. There will be 88 significant trees removed from the property to construct the home. The City Forester has visited this site and has consulted with the applicant to determine the best route forward regarding tree preservation and replacement. The City Forester has recommended that, due to the high number of trees removed and the large number of remaining trees on site, the applicant shall be required to pay a fee in lieu of onsite replacement. The applicant has proposed to plant 9 new trees on site, therefore 79 trees need to accounted for. The City Forester's recommended replacement fee is $75 per required tree, for a total of $5,925 payable to the city's forestry fund. This money will be used to plant trees in other parts of the city.

Lighting: All lighting proposed on site is on the building and there are no free-standing lights proposed on site. The applicant has submitted a foot candle lighting site plan that all lighting requirements are met on site.

Engineering: The City Engineer has reviewed the plans for this site and has submitted a memo with regard to the plans for the home. This memo is attached to this report and a condition has been added which states all items in City Engineer's memo must be resolved prior to work beginning on site. The applicant has submitted some information that was required in this memo, and those plans will be added to the final plan set before construction.

Planning Commission: The Planning Commission held a public hearing on this request on September 21, 2023. There were four people present at the public hearing. Generally, the residents at the public hearing were not opposed to construction, but had concerns regarding tree removal, the condition/width of the private road, and parking for trucks and workers during construction. The applicant subsequently met with the residents after the meeting to discuss the concerns. The Planning Commission indicated to the residents that parking is required on site (and is shown on the plans) for all trucks and workers. They also indicated that this is a private road and the condition of the road and the width of the private road needs to be addressed privately. It was recommended that pictures of the private drive be taken before and after construction. The Planning Commission unanimously recommended approval of the request.
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Site Plan Review Criteria

The Planning Commission, as its basis of recommendation, and the City Council, as its basis for decision on major projects, shall evaluate the effects of the proposed site and building plans according to the criteria below:

A. Whether the proposed improvements are compatible and in harmony with the existing structures in the surrounding community.

B. Whether the proposed improvements preserve the character and nature of the surrounding community, including the natural landscape and woodland characteristics of the community.

C. Whether the proposed improvements are not constructed of unsightly, improper or unsuitable materials.

D. Whether the proposed improvements will not materially adversely affect any natural resources in the community, except when there is no feasible and prudent alternative to the proposed location of the improvements. For purposes of this clause, "natural resources" shall include, but not be limited to, all mineral, animal, botanical, air, water, land, timber, soil, quietude, recreational, historical, scenic and aesthetic resources.

E. Whether the proposed site and improvements shall have an appearance that will not have an adverse effect upon adjacent residential properties.

F. Whether the proposed site improvement complies with drainage requirements, as provided in Section 1216.04 of this Ordinance.

G. Whether the proposed site and improvements are consistent with the purposes of the Zoning Ordinance.

The information provided in this staff report and on the proposed plans indicate that all above criteria have been met for major site and building plan approval.

RECOMMENDATION

Based on the foregoing considerations and applicable ordinances, staff recommends approval of the major site and building plan review for a new home subject to the following findings of fact and conditions of approval:

Findings of Fact:

1. The location of the subject property is as follows:

   114 Salem Church Road
   SUNFISH LAKE, MN 55077

2. The planning reports dated September 21, 2023 and October 3, 2023, and prepared by WSB are incorporated herein by reference.

3. The Applicants have submitted an application for a major site and building plan review.

4. Requests for major site and building plan review require Planning Commission review and City Council approval.

5. The Sunfish Lake Planning Commission reviewed the applicant's request for major site and building plan approval at the September 21, 2023 Planning Commission meeting.

6. Upon review of the planning report and application information, the Planning Commission found that the proposed site and building plans meet Ordinance requirements. The following findings support the Planning Commission's recommendation for approval:

Major Site and Building Plans:

a. The proposed improvements meet R-1 Single Family district requirements and standards.

b. The proposed development addresses Ordinance requirements pertaining to grading, drainage and stormwater management, landscaping, and screening.

c. The proposed home meets Ordinance requirements pertaining to building size, and material use.

d. The development meets other applicable Zoning Ordinance criteria.

Conditions of Approval:

1. Construction of the home and all improvements shall occur in substantial conformance with the plans recommended for approval at the September 21, 2023 Planning Commission meeting and the October 3, 2023 City Council meeting.
2. The applicant must comply with all requirements described in the City Engineer's Memo dated August 11, 2023.
3. The applicant must obtain all other permits as may be required.
4. The applicant shall comply with all applicable federal, state, and local laws, rules and ordinances.
5. The applicant must adhere to and remain in compliance with the requirements of this Resolution, applicable performance standards, and such other requirements as may apply.
6. All conditions of the site plan review must be complied with, shall run with the land, and shall not in any way be affected by the subsequent sale, lease or other change from current ownership of the Property.
7. This Resolution is subject to the condition that all representations, written and oral, made by the Applicant and its agents and representatives to the City contained in and concerning the Applicant's application for the site plan review must have been true, complete and accurate at the time they were made, and that they remain true and accurate for the duration of the development.
8. By undertaking the activities approved by the requests, the Applicant agrees to all conditions.
9. The improvements to be staked out in the field by the surveyor and reviewed and approved by city staff prior to the start of any construction.
10. All erosion controls identified on the approved plan must be properly installed and inspected by City staff prior to the start of any construction.
11. If site disturbance exceeds one acre, the applicant agrees to apply for a NPDES permit through the MPCA and supply the city with the approved Storm Water Pollution Prevention Plan (SWPPP) and the approved MPCA NPDES permit.
12. There will be 88 significant trees removed for construction and the applicant has proposed planting 9 new trees on site, therefore 79 trees need to be accounted for. The City Forester has recommended that the applicant pay a replacement fee of $75 per required replacement tree, for a total of $5,925 payable to the city's forestry fund.
13. The owners of 114 Salem Church Road will be required to provide proof prior to construction that they have informed the other property owners who access this road that they will be responsible for any damage to the private road that occurs during construction. Because this is a private road, the city can take no responsibility for damage to the road and will not be responsible for any subsequent repairs to the road.

CITY OF SUNFISH LAKE
DAKOTA COUNTY, MINNESOTA

RESOLUTION NO. 23-XX

RESOLUTION APPROVING A MAJOR SITE AND BUILDING PLAN REVIEW FOR THE PROPERTY AT 114 SALEM CHURCH ROAD, SUNFISH LAKE, DAKOTA COUNTY, MINNESOTA.

WHEREAS, M & M Homes, Applicant, on behalf of the property owners Jon and Alyssa Ylinen, submitted an application for the approval of a major site and building plan review for the ability to build a 9,502 square foot home at 114 Salem Church Road, Sunfish Lake, Dakota County, Minnesota, legally described as:

> Lot 2, Block 1, MULLERY ACRES, Dakota County, Minnesota, except that part lying northerly of a line commencing at the most northerly corner of said Lot 2; thence south along the west line of said Lot a distance of 135.53 feet to the point of beginning of the line to be described; thence deflecting easterly 90 degrees to the northeasterly line of said Lot 2 and said line there terminating.

WHEREAS, a request for major site and building plan review requires Planning Commission review and City Council approval; and

WHEREAS, City staff reviewed the application and outlined their review comments in planning reports dated September 21, 2023 and October 3, 2023, prepared by WSB; and

WHEREAS, the Sunfish Lake Planning Commission held a public hearing at their September 21, 2023 meeting and reviewed the major site and building plan review application along with the referenced staff report; and

WHEREAS, upon hearing the staff presentations, applicant testimony, and public testimony, the Planning Commission closed the public hearing and recommend to the City Council approval of the major site and building plan review on a vote of 4-0 vote; and

WHEREAS, the following findings support the Planning Commission recommendation for approval:

1. The location of the subject property is as follows:

   114 Salem Church Road
   SUNFISH LAKE, MN 55077

2. The planning reports dated September 21, 2023, and October 3, 2023, and prepared by WSB are incorporated herein by reference.

3. The Applicants have submitted an application for a major site and building plan review.

4. Requests for major site and building plan review require Planning Commission review and City Council approval.

5. The Sunfish Lake Planning Commission reviewed the applicant's request for major site and building plan approval at the September 21, 2023, Planning Commission meeting.

6. Upon review of the planning report and application information, the Planning Commission found that the proposed site and building plans meet Ordinance requirements. The following findings support the Planning Commission's recommendation for approval:

Major Site and Building Plans:

a. The proposed improvements meet R-1 Single Family district requirements and standards.

b. The proposed development addresses Ordinance requirements pertaining to grading, drainage and stormwater management, landscaping, and screening.

c. The proposed home meets Ordinance requirements pertaining to building size, and material use.

d. The development meets other applicable Zoning Ordinance criteria.

WHEREAS, the Sunfish Lake City Council considered the application for major site and building plan review at their meeting on October 3, 2023 and agrees with the findings of the Planning Commission.

NOW THEREFORE BE IT RESOLVED THAT the City Council of the City of Sunfish Lake hereby approves the major site and building plan review for 114 Salem Church Road with the following conditions:

1. Construction of the home and all improvements shall occur in substantial conformance with the plans recommended for approval at the September 21, 2023 Planning Commission meeting and the October 3, 2023 City Council meeting.
2. The applicant must comply with all requirements described in the City Engineer's Memo dated August 11, 2023.
3. The applicant must obtain all other permits as may be required.
4. The applicant shall comply with all applicable federal, state, and local laws, rules and ordinances.
5. The applicant must adhere to and remain in compliance with the requirements of this Resolution, applicable performance standards, and such other requirements as may apply.
6. All conditions of the site plan review must be complied with, shall run with the land, and shall not in any way be affected by the subsequent sale, lease or other change from current ownership of the Property.

7. This Resolution is subject to the condition that all representations, written and oral, made by the Applicant and its agents and representatives to the City contained in and concerning the Applicant's application for the site plan review must have been true, complete and accurate at the time they were made, and that they remain true and accurate for the duration of the development.
8. By undertaking the activities approved by the requests, the Applicant agrees to all conditions.
9. The improvements to be staked out in the field by the surveyor and reviewed and approved by city staff prior to the start of any construction.
10. All erosion controls identified on the approved plan must be properly installed and inspected by City staff prior to the start of any construction.
11. If site disturbance exceeds one acre, the applicant agrees to apply for a NPDES permit through the MPCA and supply the city with the approved Storm Water Pollution Prevention Plan (SWPPP) and the approved MPCA NPDES permit.
12. There will be 88 significant trees removed for construction and the applicant has proposed planting 9 new trees on site, therefore 79 trees need to be accounted for. The City Forester has recommended that the applicant pay a replacement fee of $75 per required replacement tree, for a total of $5,925 payable to the city's forestry fund.
13. The owners of 114 Salem Church Road will be required to provide proof prior to construction that they have informed the other property owners who access this road that they will be responsible for any damage to the private road that occurs during construction. Because this is a private road, the city can take no responsibility for damage to the road and will not be responsible for any subsequent repairs to the road.

This resolution is adopted by the City Council of the City of Sunfish Lake this 3rd day of October, 2023.

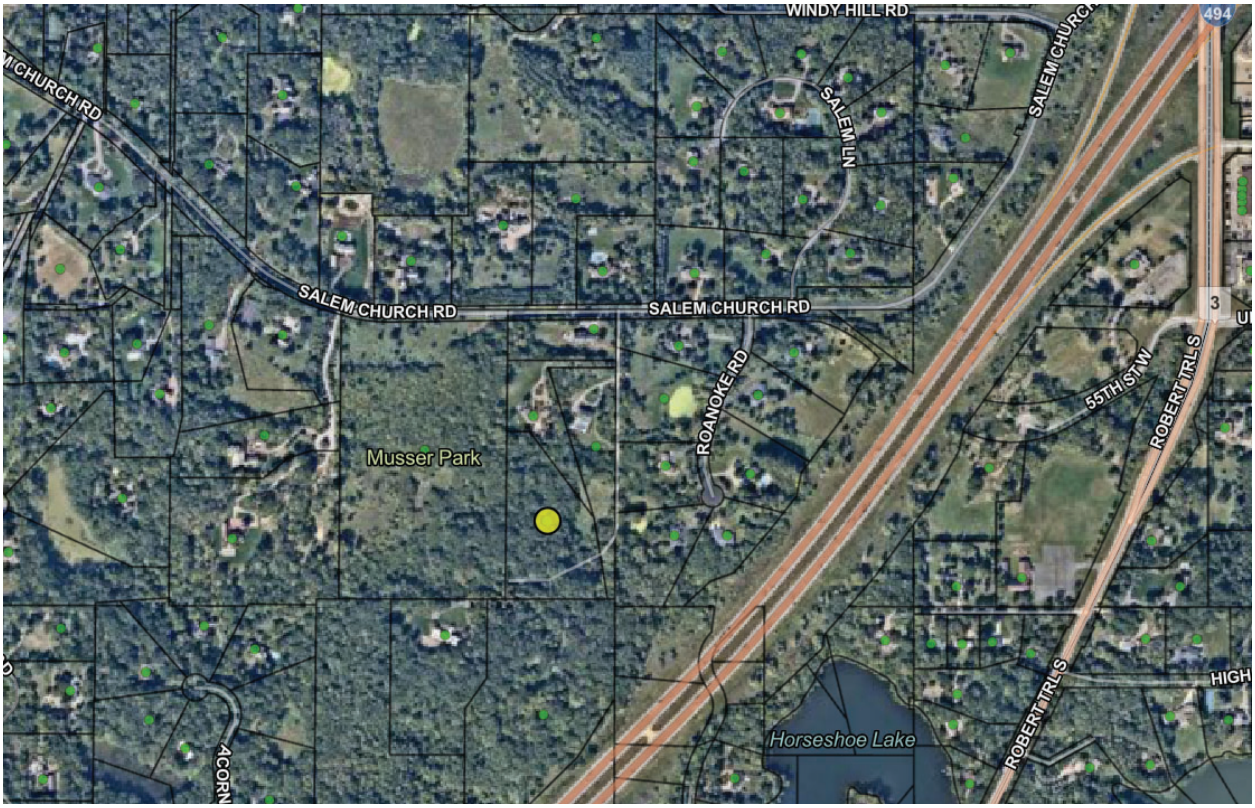
_____
Dan O'Leary, Mayor

Attest:

_____
Christy Wilcox, City Clerk

701 Xenia Avenue South | Suite 300 | Minneapolis, MN 55416 | (763) 541-4800

Location Map for 114 Salem Church Road



EXISTING SITE MAP

LOT INFORMATION

Address: 114 Salem Church Rd.
PID 384750001021
Section 31, Township 28, Range 22
Area = 5.66 acres
Watershed District = Lower Mississippi River
School District 197

PROPERTY OWNER

Jon Ylinen
348 Crowley Cir.
West St. Paul, MN 55118

SHEET INDEX

C1	EXISTING SITE MAP
C2	SITE CONSTRUCTION PLAN/ESC PLAN
C3	FINAL SITE CONDITIONS PLAN 1
C4	FINAL SITE CONDITIONS PLAN 2 – DETAILED
C5	CERTIFICATE OF SURVEY
C6	DETAILS
C7–C9	ESC DETAILS

NOTE: LANDSCAPING PLANS SHOWING TREE SURVEY AND INVENTORY PREPARED BY OTHERS.

SOILS

The disturbed soils are mapped as Kingsley sand loams and Auburndale silt loams with a hydrologic soil group C. Soil tests were performed at the proposed infiltration basin. Detailed soil maps are found in the Stormwater Management Plan.

FLOODPLAIN

There is no floodplain shown in the FEMA maps and the area is listed as Zone X. The wetland HWL of 956.5± was estimated based on a review of the site and downstream overflows.

VEGETATION REMOVAL

Proposed tree removals are shown. Tree survey, inventory, and tree preservation are shown in the landscaping plans prepared by others. All other vegetation within the construction limits as shown will be removed.

WETLANDS

Wetlands as shown were delineated by Jacobson Environmental, report dated 5/20/2023. Wetland boundary approved by the LGU on 7/7/2023 is shown in current plans.

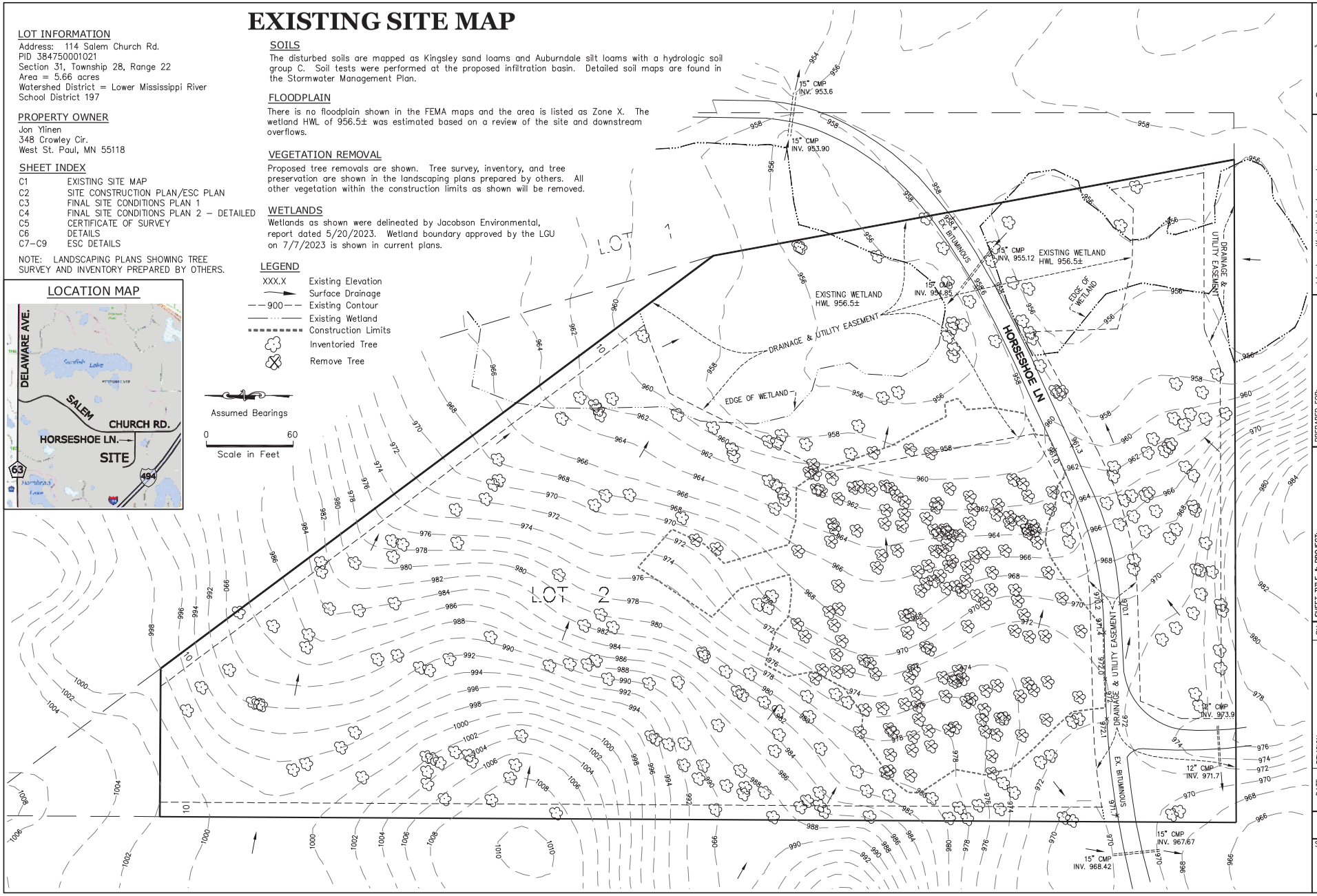
LEGEND

XXX.X	Existing Elevation
	Surface Drainage
900	Existing Contour
	Existing Wetland
	Construction Limits
	Inventoried Tree
	Remove Tree

Assumed Bearings

0 60
Scale in Feet

LOCATION MAP



SISU
Land Surveying & Engineering
2580 Christian Dr.
Chaska, MN 55318
612-418-6828

I hereby certify that this plan, report, or specification was prepared by me or under my direct supervision and that I am a duly Licensed Engineer under the laws of the State of Minnesota.

CURTISS J. KALLIO
DATE: 7/19/2023 REG. NO. 26909

PREPARED FOR:
M&M Home Contractors
PO Box 90
Cologne, MN 55322
Contact: Mike Fritz
612-554-2556

SHEET TITLE & PROJECT:
Existing Site Map
114 Salem Church Rd.
Sunfish Lake, MN

DATE	REVISION	BY
6/28/2023	MOVED HOUSE, INF BASIN	CK
7/19/2023	CITY COMMENTS	CK

PROJECT NO:
202144

SHEET
C1

SITE CONSTRUCTION PLAN/EROSION & SEDIMENT CONTROL PLAN

LAND DISTURBANCE

The proposed construction limits are shown. The estimated disturbed area is 1.03 acres. A SWPPP will be prepared as a stand alone document and an NPDES Permit is required. Vegetation shown to be removed on Sheet C1 is not shown on this sheet for clarity reasons.

CONSTRUCTION STAGING

Construction sequencing should be performed as described below to reduce the erosion potential of the site. Approximate durations are listed. Starting date is unknown.

1. Place perimeter controls – anticipated 2 days
2. Remove trees – anticipated 3 days
3. Construct bypass pipe. Grade, seed, and stabilize the swale north of the bypass pipe and the berm east of the infiltration basin – anticipated 10 days
4. Excavate home foundation. Stockpiles remaining for more than 7 days must be covered or stabilized by mulching. Place perimeter controls around stockpiles. Backfill foundation. – anticipated 10 days
5. Complete construction of home, driveway, and landscaping while maintaining perimeter controls and sedimentation basins. – duration per builder
6. Finish grade areas adjacent to home. Seed or sod areas to have turf established. – anticipated 3 days
7. Construct infiltration basin, seed, and stabilize – anticipated 7 days.

POTENTIAL STOCKPILE AREAS

Potential stockpile areas are shown. The contractor may use alternative sites provided it does not impact surface drainage or damage trees.

CONSTRUCTION VEHICLE PARKING

Construction vehicle parking will be adjacent to the proposed driveway as shown.

MAINTENANCE OF EROSION CONTROL MEASURES

Perimeter controls must be repaired, replaced when they are no longer functional or when sediment reaches 1/2 the height of the device. The temporary sedimentation basins must be cleaned out when they reach 1/2 the storage volume. The filtering outlet must be maintained to avoid overtopping the berm.

MnDOT Seed Mixture 25–141 and 36–211
MnDOT Rolled Erosion Product Cat. 50
Placed in Stage 3 described above

MnDOT Seed Mixture 25–141 and 36–211
MnDOT Rolled Erosion Product Cat. 30
Placed in Stage 3 described above

MnDOT Seed Mixture 33–261
MnDOT Rolled Erosion Product Cat. 30
Placed in Stage 7 described above

Rock Construction Entrance

Assumed Bearings

0 60
Scale in Feet

LEGEND

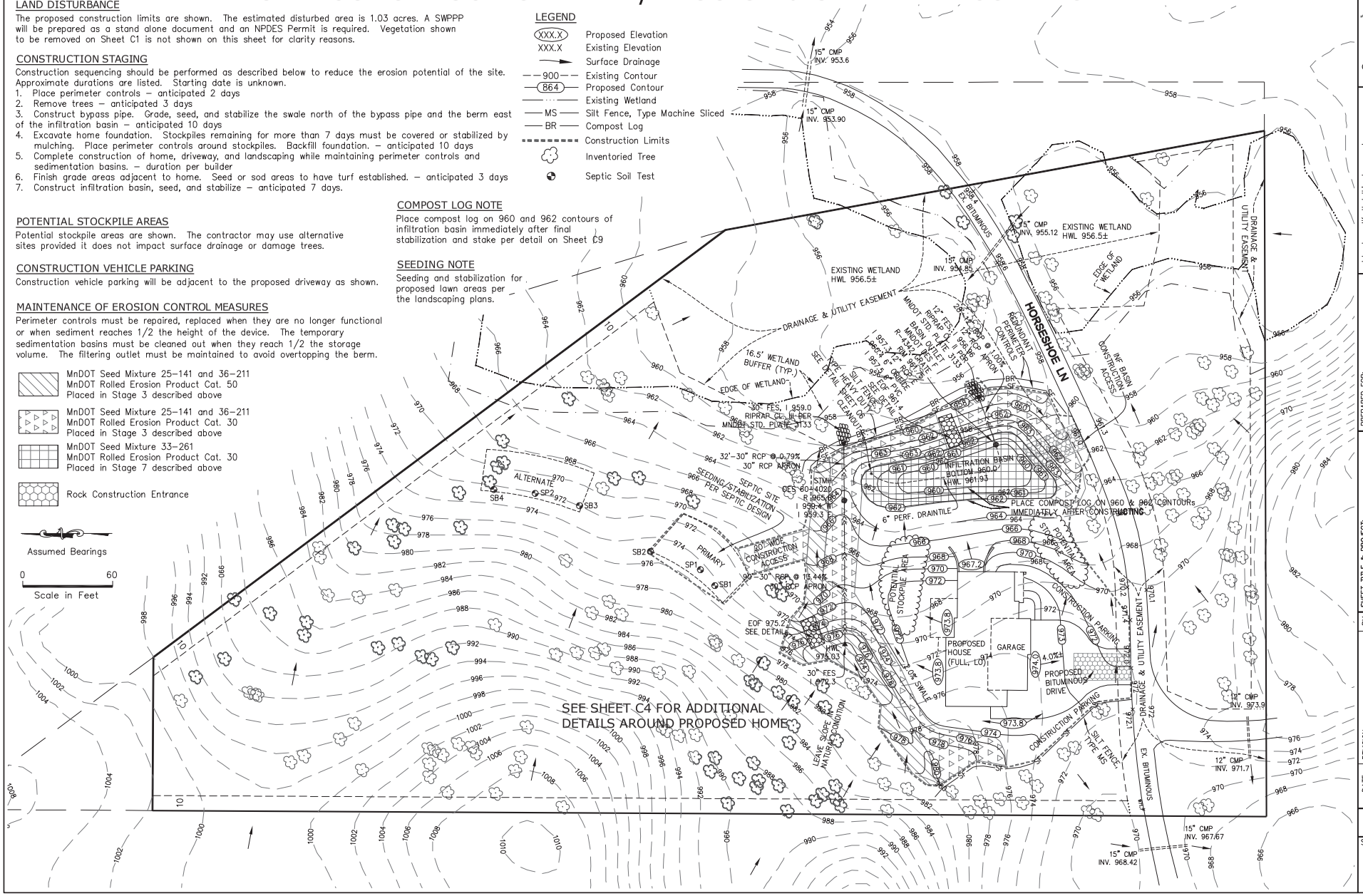
XXX.X	Proposed Elevation
XXX.X	Existing Elevation
	Surface Drainage
900	Existing Contour
864	Proposed Contour
	Existing Wetland
MS	Silt Fence, Type Machine Sliced
BR	Compost Log
	Construction Limits
	Inventoried Tree
	Septic Soil Test

COMPOST LOG NOTE

Place compost log on 960 and 962 contours of infiltration basin immediately after final stabilization and stake per detail on Sheet C9

SEEDING NOTE

Seeding and stabilization for proposed lawn areas per the landscaping plans.



SISU
Land Surveying & Engineering
2580 Christian Dr.
Chaska, MN 55318
612-418-6828

I hereby certify that this plan, report, or specification was prepared by me or under my direct supervision and that I am a duly Licensed Engineer under the laws of the State of Minnesota.

CURTISS J. KALLIO
DATE: 7/19/2023 REG. NO. 26909

PREPARED FOR:
M&M Home Contractors
PO Box 90
Cologne, MN 55322
Contact: Mike Fritz
612-554-2556

SHEET TITLE & PROJECT:
Site Construction Plan
114 Salem Church Rd.
Sunfish Lake, MN

DATE	REVISION	BY
6/28/2023	MOVED HOUSE, INF BASIN	CK
7/19/2023	CITY COMMENTS	CK

PROJECT NO: 202144

SHEET C2

FINAL SITE CONDITIONS PLAN 1 - OVERALL SITE

SEE SHEET C4 FOR ADDITIONAL DETAILS AROUND PROPOSED HOME

UTILITIES

Water and sewer services will be provided via well and septic. The well location is approximate and subject to change.

STORMWATER

Stormwater volume and rate control will be provided by an infiltration basin as shown. See the stormwater management plan for additional information and calculations. Detailed drainage maps are also shown in the stormwater management plan.

LANDSCAPING PLAN

A landscaping plan will be prepared by others.

IMPERVIOUS CALCULATIONS

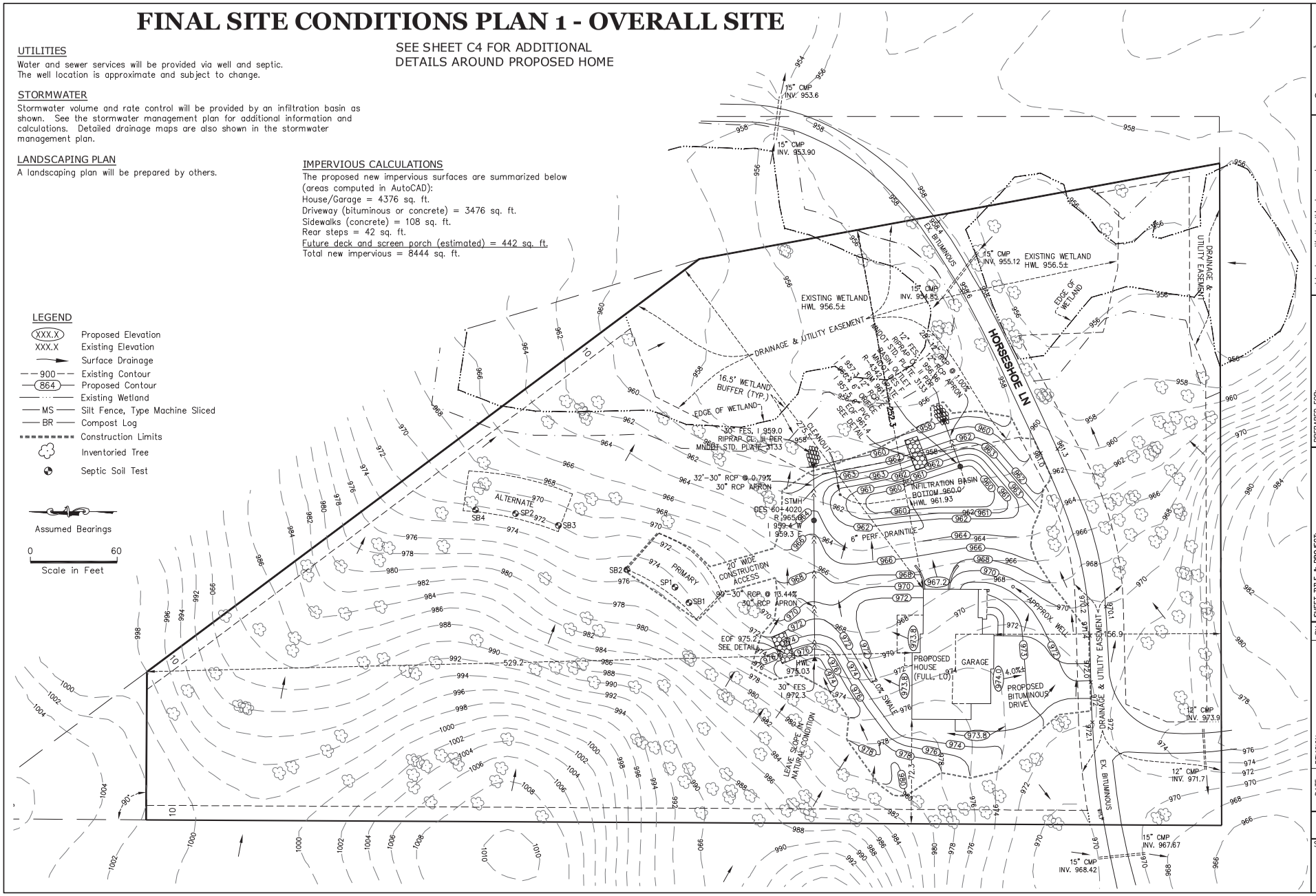
The proposed new impervious surfaces are summarized below (areas computed in AutoCAD):
House/Garage = 4376 sq. ft.
Driveway (bituminous or concrete) = 3476 sq. ft.
Sidewalks (concrete) = 108 sq. ft.
Rear steps = 42 sq. ft.
Future deck and screen porch (estimated) = 442 sq. ft.
Total new impervious = 8444 sq. ft.

LEGEND

- (XXX.X) Proposed Elevation
- XXX.X Existing Elevation
- Surface Drainage
- 900 Existing Contour
- (864) Proposed Contour
- Existing Wetland
- MS Silt Fence, Type Machine Sliced
- BR Compost Log
- Construction Limits
- Inventoried Tree
- Septic Soil Test

Assumed Bearings

0 60
Scale in Feet



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CURTISS J. KALLIO
DATE: 7/19/2023 REG. NO. 26909

PREPARED FOR:
M&M Home Contractors
PO Box 90
Cologne, MN 55322
Contact: Mike Fritz
612-554-2556

SHEET TITLE & PROJECT:
Final Site Conditions
Plan 1 - Overall
114 Salem Church Rd.
Sunfish Lake, MN

DATE	REVISION	BY	CK
6/28/2023	MOVED HOUSE, INF BASIN		
7/19/2023	MOVED HOUSE, INF BASIN		

PROJECT NO: 202144

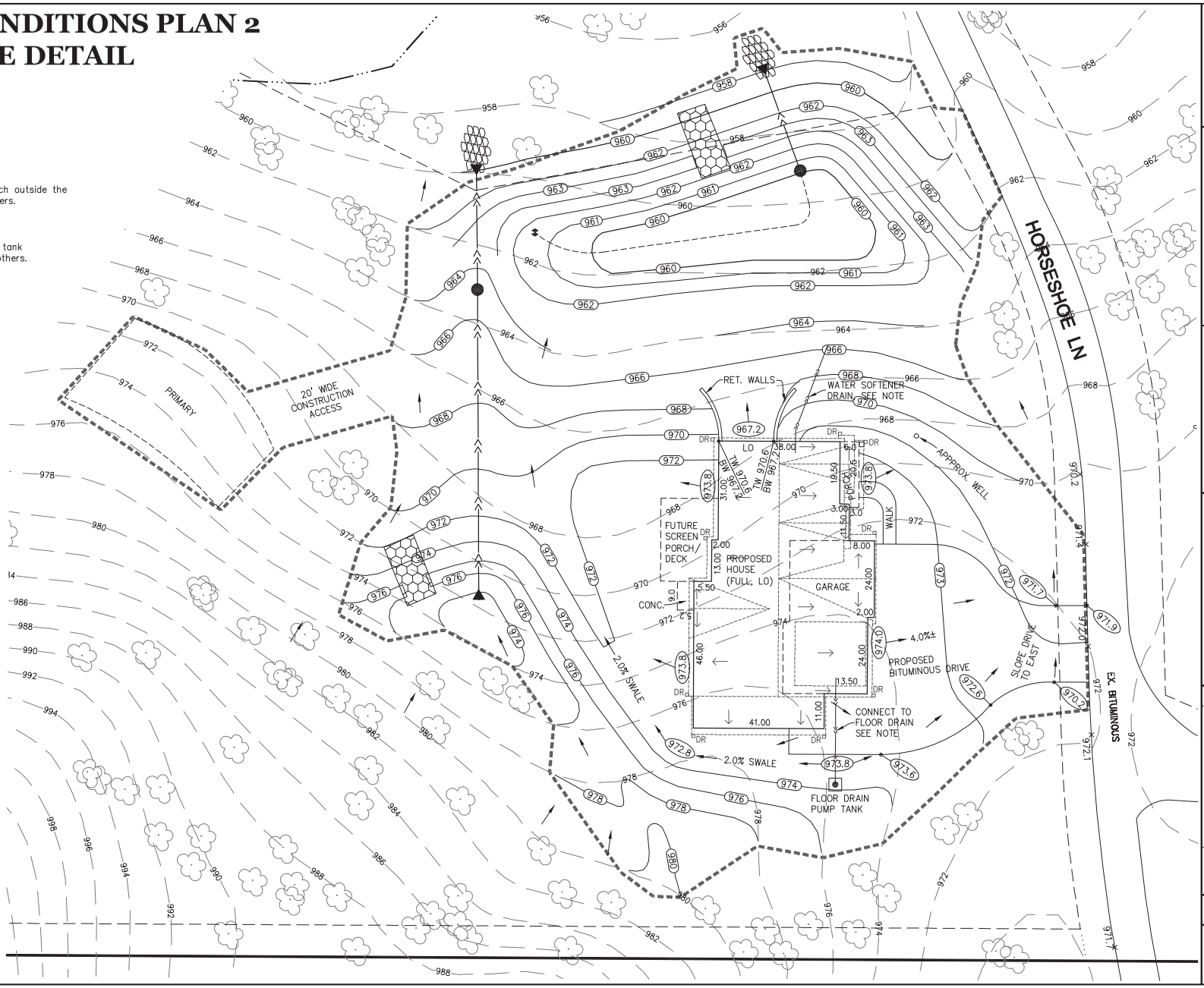
SHEET C3

FINAL SITE CONDITIONS PLAN 2
HOUSE DETAIL

PROPOSED ELEVATIONS
Garage floor at Drive = 974.0
Top of Foundation = 974.4
Lowest Floor Main = 964.7
Lowest Floor Sport Court = 961.2

WATER SOFTENER NOTE
The water softener will drain to a rock trench outside the home as shown and will be designed by others.

GARAGE FLOOR DRAIN
The garage floor drain will drain to a pump tank as shown. The size and design will be by others.



Assumed Bearings

0 30
Scale in Feet

LEGEND

(XXX.X)	Proposed Elevation
XXX.X	Existing Elevation
	Surface Drainage
900	Existing Contour
(864)	Proposed Contour
	Existing Wetland
MS	Silt Fence, Type Machine Sliced
BR	Compost Log
	Construction Limits
	Inventoried Tree
	Septic Soil Test
DR	Roof Downspout
	Roof Drainage Direction

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I hereby certify that this plan, report, or specification was prepared by me or under my direct supervision and that I am a duly Licensed Engineer under the laws of the State of Minnesota.
CURTISS J. KALLIO
DATE: 7/19/2023 REG. NO. 26909

PREPARED FOR:
M&M Home Contractors
PO Box 90
Cologne, MN 55322
Contact: Mike Fritz
612-554-2556

SHEET TITLE & PROJECT:
Final Site Conditions
Plan 2 - House Detail
114 Salem Church Rd.
Sunfish Lake, MN

DATE	REVISION	BY

PROJECT NO: 202144

SHEET C4

CERTIFICATE OF SURVEY for: M&M Home Contractors

PROPERTY DESCRIPTION

Lot 2, Block 1, MULLERY ACRES, Dakota County, Minnesota, except that part lying northerly of a line commencing at the most northerly corner of said Lot 2; thence south along the west line of said Lot a distance of 135.53 feet to the point of beginnning of the line to be described; thence deflecting easterly 90 degrees to the northeasterly line of said Lot 2 and said line there terminating.

LOT INFORMATION

Address: 114 Salem Church Rd.
PID 384750001021
Section 31, Township 28, Range 22
Area = 5.66 acres
Watershed District = Lower Mississippi River
School District 197

PROPERTY OWNER

Jon Ylinen
348 Crowley Cir.
West St. Paul, MN 55118

NOTES

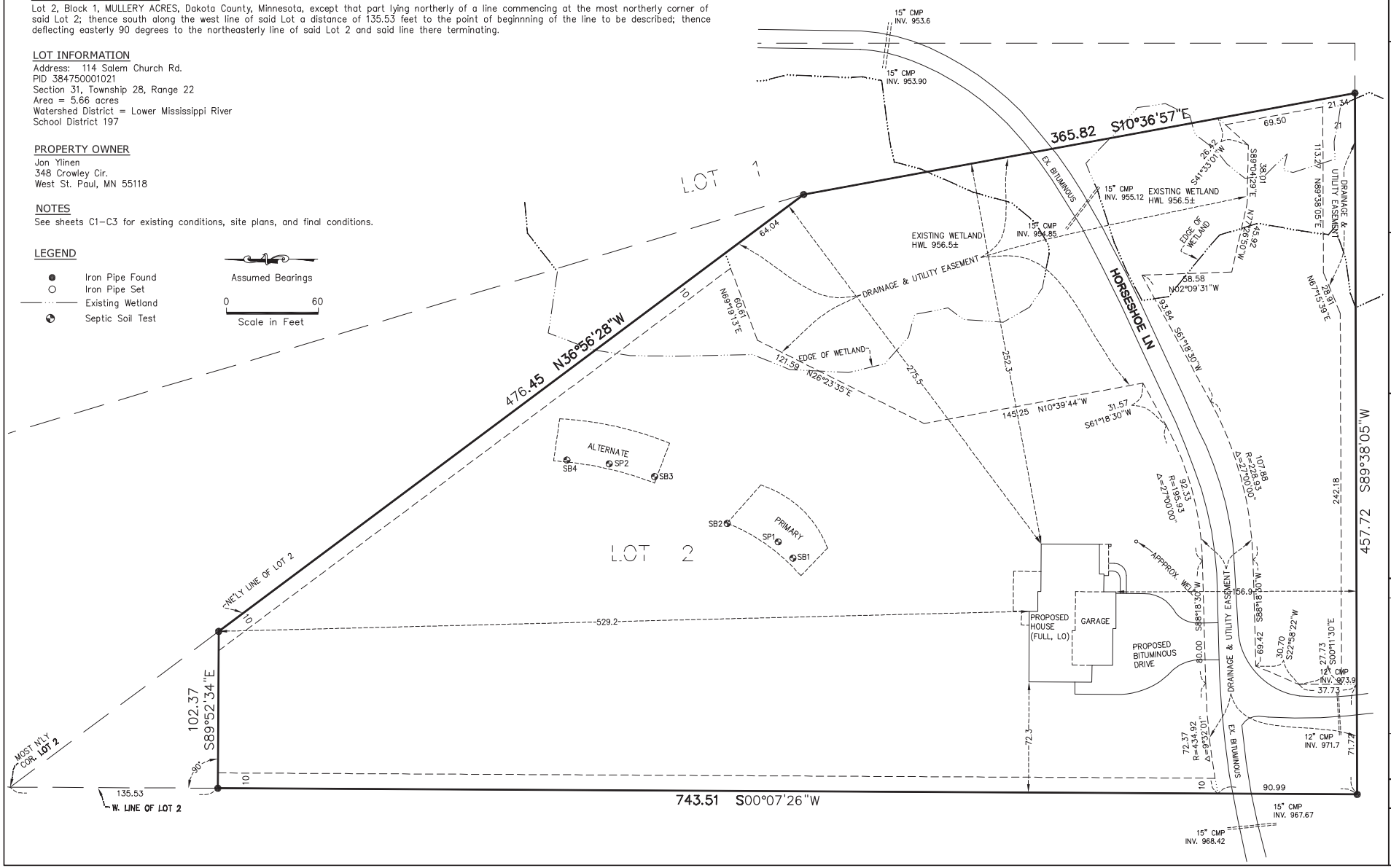
See sheets C1–C3 for existing conditions, site plans, and final conditions.

LEGEND

- Iron Pipe Found
- Iron Pipe Set
- Existing Wetland
- Septic Soil Test

Assumed Bearings

0 60
Scale in Feet



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612-418-6828

I, hereby certify that this plan, report, or specification was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

CURTISS J. KALLIO
DATE: 7/19/2023 REG. NO. 26909

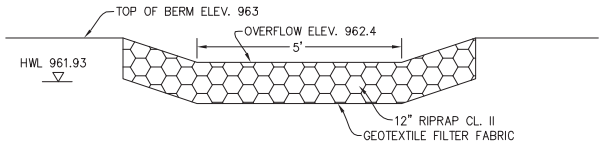
PREPARED FOR:
M&M Home Contractors
PO Box 90
Cologne, MN 55322
Contact: Mike Fritz
612-554-2556

SHEET TITLE & PROJECT:
Certificate of Survey
114 Salem Church Rd.
Sunfish Lake, MN

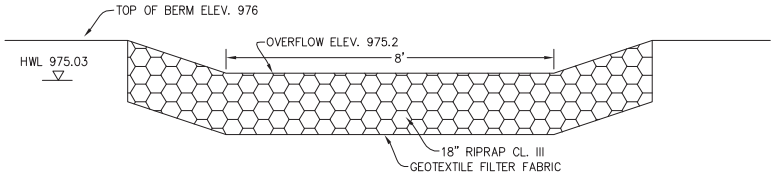
DATE	REVISION	BY
6/28/2023	MOVED HOUSE	CK
7/19/2023	MOVED HOUSE	CK

PROJECT NO: 202144

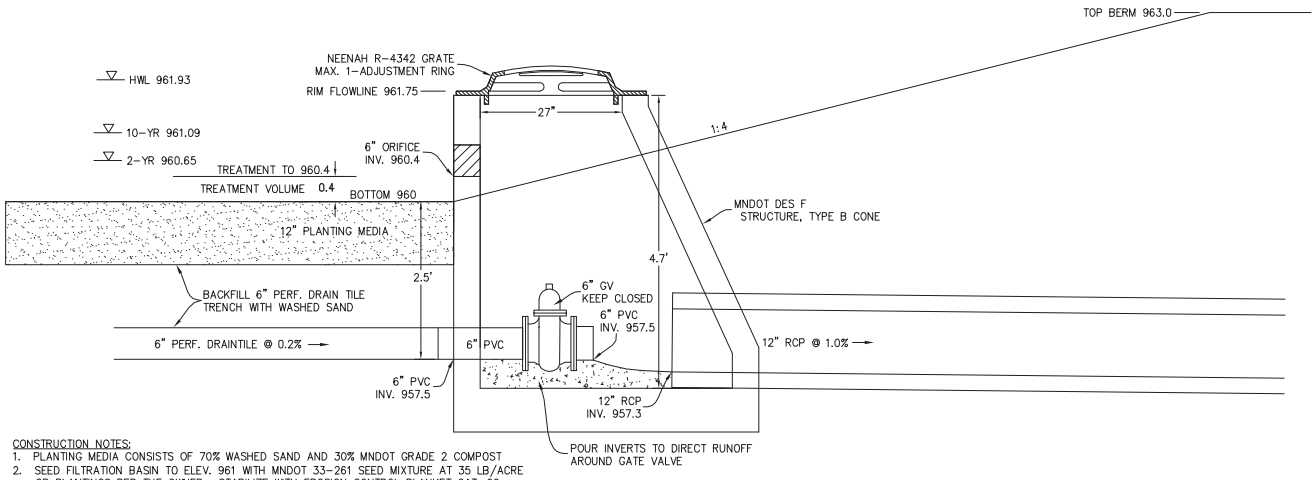
SHEET C5



INFILTRATION BASIN EOF



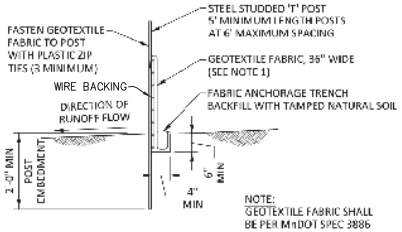
BYPASS PIPE EOF



CONSTRUCTION NOTES:

1. PLANTING MEDIA CONSISTS OF 70% WASHED SAND AND 30% MNDOT GRADE 2 COMPOST
2. SEED FILTRATION BASIN TO ELEV. 961 WITH MNDOT 33-261 SEED MIXTURE AT 35 LB/ACRE OR PLANTINGS PER THE OWNER. STABILIZE WITH EROSION CONTROL BLANKET CAT. 20 W/NATURAL NETTING.

INFILTRATION BASIN - OUTLET AND PROFILE



HEAVY DUTY SILT FENCE

SISU
Land Surveying & Engineering
2580 Christian Dr.
Chaska, MN 55318
612-418-6828

I hereby certify that this plan, report, or specification was prepared by me or under my direct supervision and that I am a duly Licensed Engineer under the laws of the State of Minnesota.

CURTISS J. KALLIO

DATE: 7/19/2023 REG. NO. 26909

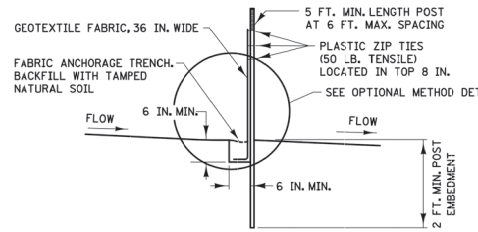
PREPARED FOR:
M&M Home Contractors
PO Box 90
Cologne, MN 55322
Contact: Mike Fritz
612-554-2556

SHEET TITLE & PROJECT:
Details
114 Salem Church Rd.
Sunfish Lake, MN

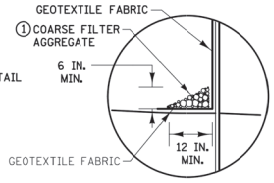
DATE	REVISION	BY
7/19/2023	CITY COMMENTS	CK

PROJECT NO: 202144

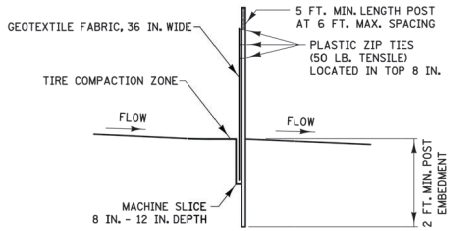
SHEET C6



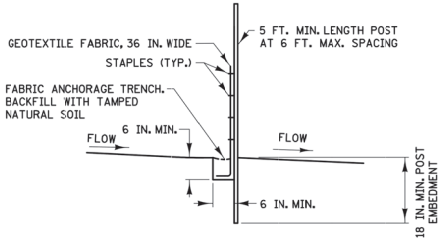
SILT FENCE TYPE HI ②
(HAND INSTALLED)



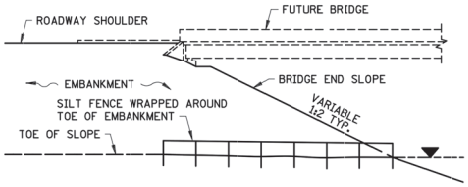
OPTIONAL METHOD



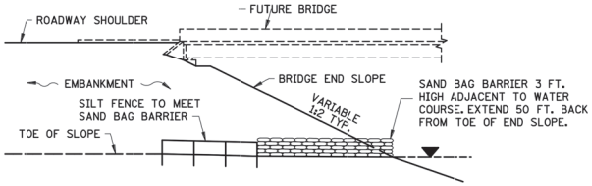
SILT FENCE TYPE MS ②
(MACHINE SLICED)



SILT FENCE TYPE PA ③
(PREASSEMBLED)

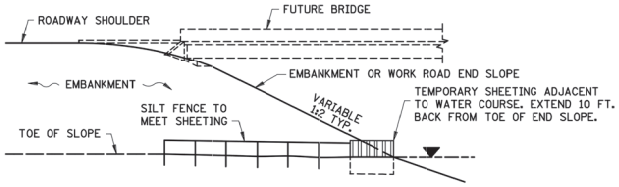


SILT FENCE ONLY ④

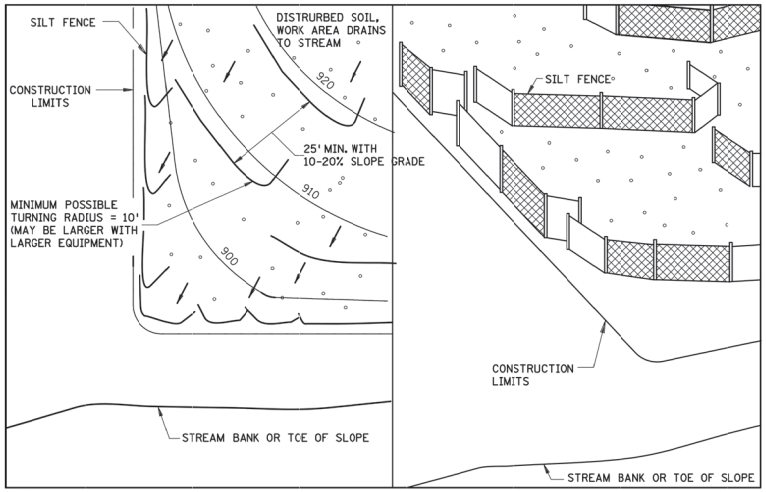


SILT FENCE WITH SAND BAGS ⑤

INSTALLATION AT BRIDGE EMBANKMENT ADJACENT TO WATER



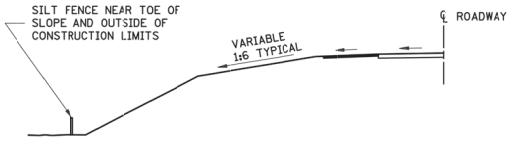
SILT FENCE WITH SHEETING ⑥



PLAN VIEW

PERSPECTIVE VIEW

J-HOOK INSTALLATION



LOCATION AT TOE OF ROADWAY EMBANKMENT

NOTES:

SEE SPECS. 2573, 3149 & 3886.

① COARSE FILTER AGGREGATE (SPEC. 3149) SHALL BE INCIDENTAL.

② TO PROTECT AREAS FROM SHEET FLOW. MAXIMUM CONTRIBUTING AREA: 1 ACRE.

③ TO PROTECT AREAS FROM SHEET FLOW. MAXIMUM CONTRIBUTING AREA: 0.25 ACRE.

④ WATER COURSE FLOW VELOCITY: STANDING.
CONTRIBUTING SLOPE AREA: 1./2 ACRE.

⑤ WATER COURSE FLOW VELOCITY: 1 TO 7 FT./SEC.
CONTRIBUTING SLOPE AREA: 1. ACRE.

⑥ WATER COURSE FLOW VELOCITY: 8 TO 15 FT./SEC.
CONTRIBUTING SLOPE AREA: 3 ACRES.

REVISION:

APPROVED: 2-28-2017
CHIEF ENVIRONMENTAL OFFICER

MINNESOTA DEPARTMENT OF TRANSPORTATION

STANDARD PLAN 5-297.405 | 6 OF 8

APPROVED: 2-28-2017
REVISED:

STATE DESIGN ENGINEER

TEMPORARY SEDIMENT CONTROL
SILT FENCE

STATE PROJ. NO. (T.H.) SHEET NO. OF SHEETS

SISU Land Surveying & Engineering
2580 Christian Dr.
Chaska, MN 55318
612-418-6828

I hereby certify that this plan, report, or specification was prepared by me or under my direct supervision and that I am a duly Licensed Engineer under the laws of the State of Minnesota.
CURTISS J. KALLIO
DATE: 7/19/2023 REG. NO. 26909

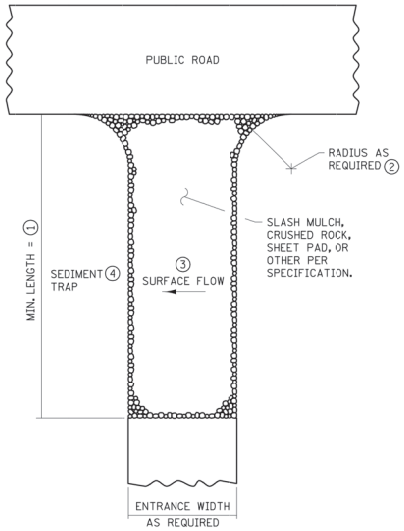
PREPARED FOR:
M&M Home Contractors
PO Box 90
Cologne, MN 55322
Contact: Mike Fritz
612-554-2556

SHEET TITLE & PROJECT:
Erosion and Sediment Control Details
114 Salem Church Rd.
Sunfish Lake, MN

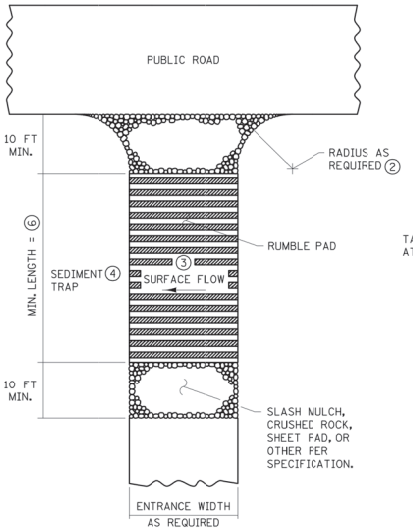
DATE	REVISION	BY

PROJECT NO: 202144

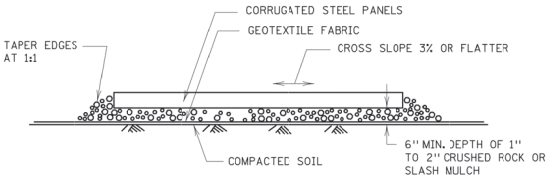
SHEET C7



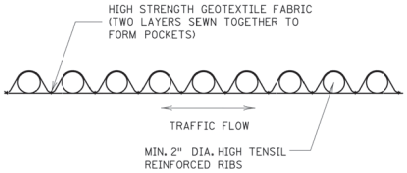
SLASH MULCH, CRUSHED ROCK, OR SHEET PAD CONSTRUCTION EXIT ⑤⑦



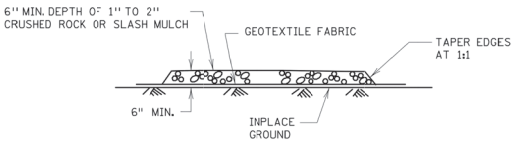
RUMBLE PAD CONSTRUCTION EXIT ⑤⑦



RUMBLE PAD



SHEET PAD



SLASH MULCH OR CRUSHED ROCK

NOTES:

SEE SPECS. 2573 & 3882.

① MINIMUM LENGTH SHALL BE THE GREATER OF 50 FEET OR A LENGTH SUFFICIENT TO ALLOW A MINIMUM OF 5 TIRE ROTATIONS ON THE PROVIDED PAD. MINIMUM LENGTH SHALL BE CALCULATED USING THE LARGEST TIRE WHICH WILL BE USED IN TYPICAL OPERATIONS.

② PROVIDE RADIUS OR WIDEN PAD SUFFICIENTLY TO PREVENT VEHICLE TIRES FROM TRACKING OFF OF PAD WHEN LEAVING SITE.

③ IF RUNOFF FROM DISTURBED AREAS FLOWS TOWARD CONSTRUCTION EXITS, PREVENT RUNOFF FROM DRAINING DIRECTLY TO PUBLIC ROAD OVER CONSTRUCTION EXIT BY CROWNING THE EXIT OR SLOPING TO ONE SIDE. IF SURFACE GRADING IS INSUFFICIENT, PROVIDE OTHER MEANS OF INTERCEPTING RUNOFF.

④ IF RUNOFF FROM CONSTRUCTION EXITS WILL DRAIN OFF OF PROJECT SITE, PROVIDE SEDIMENT TRAP WITH STABILIZED OVERFLOW.

⑤ IF A TIRE WASH OFF IS REQUIRED THE CONSTRUCTION EXITS SHALL BE GRADED TO DRAIN THE WASH WATER TO A SEDIMENT TRAP.

⑥ MINIMUM LENGTH OF RUMBLE PAD SHALL BE 20 FEET, OR AS REQUIRED TO REMOVE SEDIMENT FROM TIRES. IF SIGNIFICANT SEDIMENT IS TRACKED FROM THE SITE, THE RUMBLE PAD SHALL BE LENGTHENED OR THE DESIGN MODIFIED TO PROVIDE ADDITIONAL VIBRATION. WASH-OFF LENGTH SHALL BE AS REQUIRED TO EFFECTIVELY REMOVE CONSTRUCTION SEDIMENT FROM VEHICLE TIRES.

⑦ MAINTENANCE OF CONSTRUCTION EXITS SHALL OCCUR WHEN THE EFFECTIVENESS OF SEDIMENT REMOVAL HAS BEEN REDUCED. MAINTENANCE SHALL CONSIST OF REMOVING SEDIMENT AND CLEANING THE MATERIALS OR PLACING ADDITIONAL MATERIAL (SLASH MULCH OR CRUSHED ROCK) OVER SEDIMENT FILLED MATERIAL TO RESTORE EFFECTIVENESS.

REVISION:

APPROVED: 2-28-2017

CHIEF ENVIRONMENTAL OFFICER

MINNESOTA DEPARTMENT OF TRANSPORTATION

STANDARD PLAN 5-297.405 | 5 OF 8

APPROVED: 2-28-2017
REVISED:

STATE DESIGN ENGINEER

TEMPORARY SEDIMENT CONTROL

STABILIZED CONSTRUCTION EXIT

STATE PROJ. NO. (T.H.) SHEET NO. OF SHEETS

SISU Land Surveying & Engineering
2580 Christian Dr.
Chaska, MN 55318
612-418-6828

I hereby certify that this plan, report, or specification was prepared by me or under my direct supervision and that I am a duly Licensed Engineer under the laws of the State of Minnesota.

CURTISS J. KALLIO

DATE 7/19/2023 REG. NO. 26909

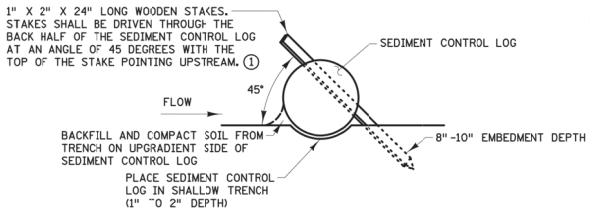
PREPARED FOR:
M&M Home Contractors
PO Box 90
Cologne, MN 55322
Contact: Mike Fritz
612-554-2556

SHEET TITLE & PROJECT:
Erosion and Sediment Control Details
114 Salem Church Rd.
Sunfish Lake, MN

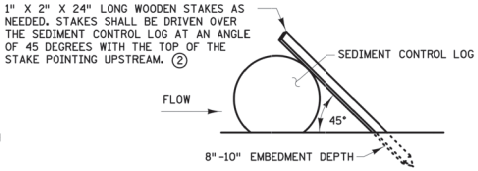
DATE	REVISION	BY

PROJECT NO: 202144

SHEET C8

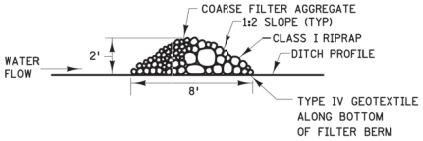


TYPES: STRAW, WOOD FIBER, OR COIR

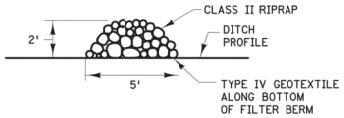


TYPES: WOOD CHIP, COMPOST, OR ROCK

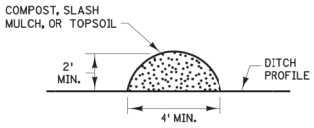
SEDIMENT CONTROL LOGS



TYPE 3 (ROCK WEEPER)

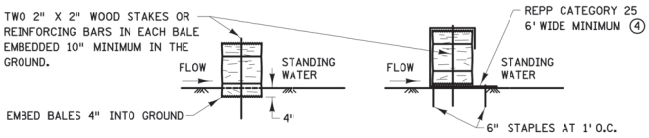


TYPE 5 (ROCK)



TYPE 1 (COMPOST), TYPE 2 (SLASH MULCH), OR TYPE 4 (TOPSOIL)

FILTER BERMS



EMBEDMENT METHOD

REPP (BLANKET) METHOD (ALTERNATE)

BALE BARRIERS 3

NOTES:

REPP = ROLLED EROSION PREVENTION PRODUCT.

SEE SPECS. 2573, 3149, 3874, 3882, 3885, 3886, AND 3897.

1. SPACE BETWEEN STAKES SHALL BE A MAXIMUM OF 1' FOR DITCH CHECKS OR 2' FOR OTHER APPLICATIONS.
2. PLACE STAKES AS NEEDED TO PREVENT MOVEMENT OF SEDIMENT CONTROL LOGS PLACED ON SLOPES OR AS NEEDED DUE TO OTHER FACTORS. STAKES SHALL BE INCIDENTAL.
3. TO BE USED FOR CRITICAL PERIMETER CONTROL AREAS WHERE STANDING WATER OCCURS (6" MAXIMUM DEPTH). BALES SHALL CONSIST OF TYPE 1 MULCH OF APPROXIMATELY 14" X 18" X 36" LONG. BALES SHALL BE PLACED ON EDGE AND BUTTED TIGHT TO ADJACENT BALES.
4. INSTEAD OF TRENCHING, PLACE BALE ON THE REPP (BLANKET) AND WRAP BLANKET AROUND THE BALE. PLACE STAKE THROUGH BALE AND BLANKET.

REVISION:

APPROVED: JANUARY 8, 2020

MARNI KARNOWSKI
CHIEF ENVIRONMENTAL OFFICER

MINNESOTA DEPARTMENT OF TRANSPORTATION

STANDARD PLAN 5-297.405 | 2 OF 8

APPROVED: 1-8-2020
REVISED:

THOMAS STYRBICKI
STATE DESIGN ENGINEER

TEMPORARY SEDIMENT CONTROL

FILTER BERMS, SEDIMENT CONTROL LOGS, AND BALE BARRIERS

STATE PROJ. NO. (T.H.) SHEET NO. OF SHEETS

SISU Land Surveying & Engineering
2580 Christian Dr.
Chaska, MN 55318
612-418-6828

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CURTISS J. KALLIO

DATE: 7/19/2023 REG. NO. 26909

PREPARED FOR:
M&M Home Contractors
PO Box 90
Cologne, MN 55322
Contact: Mike Fritz
612-554-2556

SHEET TITLE & PROJECT:
Erosion and Sediment Control Details
114 Salem Church Rd.
Sunfish Lake, MN

DATE	REVISION	BY

PROJECT NO: 202144

SHEET C9

TREES FOR PRESERVATION

TAG	DBH	COND.	SPECIES	STATUS
14	13	5	Bur oak	Save
15	18	5	Red oak	Save
17	7	4	American elm	Save
18	10	5	Apple	Save
22	8	3	Quaking aspen	Save
23	7	5	American elm	Save
24	12	5	Quaking aspen	Save
25	9	5	Quaking aspen	Save
26	9	3	Red oak	Save
37	11	3	American elm	Save
38	6	2	Amur maple	Save
39	7	4	Quaking aspen	Save
40	7	4	Quaking aspen	Save
41	6	4	Quaking aspen	Save
57	6	5	Bur oak	Save
82	11	4	Quaking aspen	Save
83	6	3	Amur maple	Save
85	7	5	Quaking aspen	Save
93	7	5	Quaking aspen	Save
105	7	5	Quaking aspen	Save
106	11	5	Quaking aspen	Save
139	15	3	Box elder	Save
140	6	4	Amur maple	Save
142	9	4	Box elder	Save
143	6	4	Amur maple	Save
169	6	5	Quaking aspen	Save
170	8	5	Bur oak	Save
171	6	4	Quaking aspen	Save
172	6	5	Quaking aspen	Save
174	30	4	Bur oak	Save
175	7	5	Bur oak	Save
176	6	5	Quaking aspen	Save
177	9	4	American elm	Save
178	27	5	Red oak	Save
179	10	4	Red oak	Save
180	12	4	Red oak	Save
181	14	5	Red oak	Save
183	10	5	Bur oak	Save
184	11	4	Bur oak	Save
185	10	4	Bur oak	Save
186	6	5	Bur oak	Save
187	13	5	Bur oak	Save
188	7	4	Bur oak	Save
189	13	5	Black cherry	Save
190	12	5	Red oak	Save
191	7	5	Amur maple	Save
192	6	4	Red oak	Save
193	6	4	American elm	Save
194	12	4	Bur oak	Save
195	6	4	Black cherry	Save
196	12	5	Red oak	Save
197	6	3	Red cedar	Save
198	12	5	Bur oak	Save
199	10	5	Red oak	Save
200	13	5	Red oak	Save
201	12	5	Red oak	Save
202	7	5	Bur oak	Save
203	6	5	Bur oak	Save
204	7	5	Bur oak	Save
205	7	5	Quaking aspen	Save
206	6	5	Quaking aspen	Save
207	12	4	Bur oak	Save
209	7	4	American elm	Save
210	8	4	Amur maple	Save
211	6	3	Quaking aspen	Save
212	8	4	Bur oak	Save
217	11	5	Bur oak	Save
218	10	5	Apple	Save
219	9	4	Apple	Save
222	11	4	Bur oak	Save
223	8	5	Amur maple	Save
224	6	4	Amur maple	Save
225	6	4	Amur maple	Save
226	6	5	Amur maple	Save
227	10	4	Amur maple	Save
228	7	3	Amur maple	Save
229	7	3	Amur maple	Save
230	6	4	Amur maple	Save

TAG	DBH	COND.	SPECIES	STATUS
232	7	5	Quaking aspen	Save
233	7	5	Quaking aspen	Save
234	7	3	Quaking aspen	Save
235	7	4	Quaking aspen	Save
236	7	5	Quaking aspen	Save
238	7	5	Quaking aspen	Save
239	8	3	Quaking aspen	Save
240	6	5	Quaking aspen	Save
243	12	5	Red oak	Save
244	8	4	Amur maple	Save
245	17	5	Red oak	Save
246	8	5	Bur oak	Save
247	10	5	Bur oak	Save
248	12	5	Red oak	Save
249	14	5	Bur oak	Save
250	7	5	Red oak	Save
251	11	4	Bur oak	Save
252	11	4	Bur oak	Save
253	7	4	Amur maple	Save
254	10	5	Bur oak	Save
255	14	5	Red oak	Save
256	13	5	Red oak	Save
257	9	4	American elm	Save
258	6	3	Amur maple	Save
259	8	4	Amur maple	Save
260	7	3	Amur maple	Save
261	9	5	Green ash	Save
262	8	4	Amur maple	Save
263	6	4	Amur maple	Save
267	11	4	American elm	Save
268	6	5	Amur maple	Save
269	8	3	Amur maple	Save
270	7	4	Amur maple	Save
271	10	4	Amur maple	Save
272	6	4	Amur maple	Save
273	7	4	Amur maple	Save
274	6	5	Amur maple	Save
275	8	5	Amur maple	Save
276	6	5	Amur maple	Save
277	6	4	Amur maple	Save
278	6	4	Amur maple	Save
279	8	4	Amur maple	Save
280	6	4	Amur maple	Save
283	6	4	Amur maple	Save
284	12	4	Black cherry	Save
285	8	5	Amur maple	Save
286	8	3	Red cedar	Save
287	6	5	Black cherry	Save
288	6	5	Bur oak	Save
289	12	5	Red oak	Save
292	10	5	Quaking aspen	Save
293	9	4	Quaking aspen	Save
294	9	4	Quaking aspen	Save
296	7	4	Quaking aspen	Save
297	8	5	Quaking aspen	Save
298	6	4	Quaking aspen	Save
301	10	5	Red oak	Save
302	6	5	Red oak	Save
303	11	5	Red oak	Save
304	9	4	Bur oak	Save
305	15	5	Red oak	Save
306	17	6	White pine	Save
307	11	5	Black cherry	Save
308	6	3	Amur maple	Save
309	7	3	Amur maple	Save
310	6	4	Amur maple	Save
311	7	4	Amur maple	Save
312	6	4	Amur maple	Save
313	6	4	Amur maple	Save
314	7	4	Amur maple	Save
315	6	4	Amur maple	Save
316	6	4	Amur maple	Save
317	15	4	American elm	Save
318	10	3	Amur maple	Save
319	11	5	Red oak	Save
320	9	5	Red oak	Save
321	12	4	Bur oak	Save
322	6	2	Red cedar	Save

TAG	DBH	COND.	SPECIES	STATUS
323	12	5	Bur oak	Save
325	9	5	Box elder	Save
326	8	4	Box elder	Save
327	10	4	Box elder	Save
328	10	5	Box elder	Save
329	8	4	Box elder	Save
330	8	4	Box elder	Save
331	6	5	Box elder	Save
332	9	5	Box elder	Save
333	7	3	Box elder	Save
334	9	5	Box elder	Save
335	14	4	Box elder	Save
336	10	4	Quaking aspen	Save
337	15	4	Box elder	Save
338	7	4	Black cherry	Save
339	11	4	Quaking aspen	Save
340	14	5	Silver maple	Save
341	13	3	Box elder	Save
342	17	5	Black willow	Save
343	6	4	Box elder	Save
344	8	4	Box elder	Save
345	17	5	Black willow	Save
346	7	5	Box elder	Save
347	7	4	Box elder	Save
348	10	5	Box elder	Save
349	7	4	Box elder	Save
350	6	5	American elm	Save
351	10	4	Box elder	Save
352	8	5	Box elder	Save
353	8	5	American elm	Save
354	15	4	Cottonwood	Save
355	16	5	Cottonwood	Save
356	11	5	Quaking aspen	Save
357	8	5	Quaking aspen	Save
358	13	5	Cottonwood	Save
359	8	5	Cottonwood	Save
360	7	5	Cottonwood	Save
361	15	5	Cottonwood	Save
362	9	5	Cottonwood	Save
363	8	5	Quaking aspen	Save
364	7	5	Quaking aspen	Save
365	7	5	Quaking aspen	Save
366	8	5	Quaking aspen	Save
367	15	6	White cedar	Save
368	9	5	Red oak	Save
369	18	5	Cottonwood	Save
370	15	4	Cottonwood	Save
371	7	3	Red cedar	Save
372	8	5	Black cherry	Save
373	13	5	Box elder	Save
374	10	4	Box elder	Save
375	6	2	Red cedar	Save
376	8	3	Red pine	Save
377	6	4	Red pine	Save
378	12	5	Cottonwood	Save
379	7	3	White spruce	Save
380	6	5	Quaking aspen	Save
381	10	5	Cottonwood	Save
382	8	5	Cottonwood	Save
383	9	4	Cottonwood	Save
384	17	5	Cottonwood	Save
385	8	4	Cottonwood	Save
386	13	5	Cottonwood	Save
387	14	5	Cottonwood	Save
388	6	3	White spruce	Save
389	7	5	Cottonwood	Save
390	10	5	Cottonwood	Save
391	7	4	American elm	Save
392	15	4	Cottonwood	Save
393	15	5	Cottonwood	Save
394	13	5	Cottonwood	Save
395	12	5	Cottonwood	Save
396	19	4	Cottonwood	Save
397	6	4	Box elder	Save
398	6	4	Box elder	Save
399	9	5	Red oak	Save
1801	12	5	Cottonwood	Save
1802	9	4	Box elder	Save
1806	6	5	Box elder	Save

TOTAL TREES: 235 **TOTAL DBH: 2,181 in.**

SIGNIFICANT TREES FOR REMOVAL

TAG	DBH	COND.	SPECIES	STATUS
2	12	5	Red oak	Remove
3	8	5	Red oak	Remove
4	10	5	Red oak	Remove
5	10	5	Red oak	Remove
7	10	5	Red oak	Remove
8	12	6	Red oak	Remove
9	6	5	Quaking aspen	Remove
10	7	5	Quaking aspen	Remove
11	7	5	Quaking aspen	Remove
12	7	5	Quaking aspen	Remove
13	9	5	Black cherry	Remove
27	6	5	Quaking aspen	Remove
31	6	5	Quaking aspen	Remove
32	6	5	Quaking aspen	Remove
33	6	5	Quaking aspen	Remove
36	14	5	Quaking aspen	Remove
42	7	5	Quaking aspen	Remove
44	6	5	Quaking aspen	Remove
45	6	5	Quaking aspen	Remove
46	6	5	Quaking aspen	Remove
47	7	5	Quaking aspen	Remove
48	10	5	Quaking aspen	Remove
49	7	5	Quaking aspen	Remove
51	10	5	Quaking aspen	Remove
52	6	5	Quaking aspen	Remove
53	7	5	Quaking aspen	Remove
54	7	5	Quaking aspen	Remove
55	6	5	Quaking aspen	Remove
56	7	5	Quaking aspen	Remove
58	6	5	Bur oak	Remove
60	7	5	Quaking aspen	Remove
61	6	5	Quaking aspen	Remove
63	14	5	Bur oak	Remove
66	6	5	Quaking aspen	Remove
67	6	5	Quaking aspen	Remove
68	7	5	Quaking aspen	Remove
69	6	5	Quaking aspen	Remove
70	8	5	Red oak	Remove
71	10	5	Bur oak	Remove
73	9	5	Red oak	Remove
74	12	5	Bur oak	Remove
78	8	5	Quaking aspen	Remove
81	6	5	Red oak	Remove
86	11	5	Quaking aspen	Remove
87	6	5	Quaking aspen	Remove
89	7	5	Paper birch	Remove
90	9	5	Quaking aspen	Remove
92	8	5	Quaking aspen	Remove
95	9	5	Quaking aspen	Remove
97	10	5	Quaking aspen	Remove
99	8	5	Quaking aspen	Remove
107	10	5	Quaking aspen	Remove
110	9	5	Quaking aspen	Remove
111	10	5	Quaking aspen	Remove
114	6	5	Quaking aspen	Remove
115	7	5	Quaking aspen	Remove
119	6	5	Quaking aspen	Remove
120	7	5	Quaking aspen	Remove
122	7	5	Quaking aspen	Remove
123	7	5	Quaking aspen	Remove
124	6	5	Quaking aspen	Remove
126	7	5	Quaking aspen	Remove
129	7	5	Quaking aspen	Remove
130	9	5	Quaking aspen	Remove
131	7	5	Quaking aspen	Remove
132	8	5	Quaking aspen	Remove
134	6	5	Quaking aspen	Remove
135	7	5	Quaking aspen	Remove
145	11	5	Quaking aspen	Remove
151	7	5	Quaking aspen	Remove
152	7	5	Quaking aspen	Remove
154	7	5	Quaking aspen	Remove
155	7	5	Quaking aspen	Remove
156	11	5	Bur oak	Remove
157	7	5	Quaking aspen	Remove
159	6	5	Quaking aspen	Remove
160	7	5	Quaking aspen	Remove
161	6	5	Quaking aspen	Remove

TAG	DBH	COND.	SPECIES	STATUS
163	6	5	Bur oak	Remove
164	12	5	Bur oak	Remove
166	6	5	Quaking aspen	Remove
220	12	6	Red oak	Remove
221	15	5	Bur oak	Remove
237	6	5	Quaking aspen	Remove
241	8	5	Quaking aspen	Remove
295	7	5	Quaking aspen	Remove
299	8	5	Quaking aspen	Remove
300	8	5	Quaking aspen	Remove

TOTAL TREES: 88 **TOTAL DBH: 697 in.**

NON- SIGNIFICANT TREES FOR REMOVAL

TAG	DBH	COND.	SPECIES	STATUS
1	12	3	White spruce	Remove
6	8	4	Bur oak	Remove
16	13	3	White spruce	Remove
28	4	4	Quaking aspen	Remove
29	6	4	Quaking aspen	Remove
30	6	4	Quaking aspen	Remove
34	6	4	Quaking aspen	Remove
35	6	3	Quaking aspen	Remove
43	7	3	Quaking aspen	Remove
50	7	4	Quaking aspen	Remove
59	6	4	Quaking aspen	Remove
62	10	4	Bur oak	Remove
64	7	4	Quaking aspen	Remove
65	6	4	Quaking aspen	Remove
72	7	4	Bur oak	Remove
75	12	4	Red oak	Remove
76	7	4	Quaking aspen	Remove
77	7	4	Quaking aspen	Remove
79	10	3	Bur oak	Remove
80	11	3	Bur oak	Remove
84	11	3	Quaking aspen	Remove
88	27	5	Cottonwood	Remove
91	7	4	Quaking aspen	Remove
94	6	4	Quaking aspen	Remove
96	6	4	Quaking aspen	Remove
98	7	4	Quaking aspen	Remove
100	6	4	Quaking aspen	Remove
101	7	4	Quaking aspen	Remove
102	9	4	Quaking aspen	Remove
103	6	4	Bur oak	Remove
104	7	4	Quaking aspen	Remove
108	10	4	Quaking aspen	Remove
109	10	4	Quaking aspen	Remove
112	7	4	American elm	Remove
113	7	4	Quaking aspen	Remove
116	7	4	Quaking aspen	Remove
117	7	4	Quaking aspen	Remove
118	7	4	Quaking aspen	Remove
121	8	4	Quaking aspen	Remove
125	14	4	Bur oak	Remove
127	6	3	Quaking aspen	Remove
128	7	4	Quaking aspen	Remove
133	6	3	Quaking aspen	Remove
136	6	5	Amur maple	Remove
137	8	4	Amur maple	Remove
138	17	4	Box elder	Remove
141	7	4	Quaking aspen	Remove
144	12	4	Red oak	Remove
146	8	4	Quaking aspen	Remove
147	14	4	Red oak	Remove
148	7	4	Quaking aspen	Remove
149	7	4	Quaking aspen	Remove
150	19	5	Cottonwood	Remove
153	7	3	Quaking aspen	Remove
158	7	4	Quaking aspen	Remove
162	8	4	American elm	Remove
165	9	4	Bur oak	Remove
167	6	4	Quaking aspen	Remove
168	6	4	Quaking aspen	Remove
213	6	4	Quaking aspen	Remove
214	6	4	Quaking aspen	Remove
215	9	4	Bur oak	Remove
216	10	4	Bur oak	Remove
231	8	3	Quaking aspen	Remove
242	7	3	Quaking aspen	Remove
290	8	4	Quaking aspen	Remove
291	8	3	Quaking aspen	Remove

TOTAL TREES: 67 **TOTAL DBH: 563 in.**

SIGNIFICANT TREES ARE DEFINED AS:

CONDITION CODE OF 5 OR GREATER

NON-SIGNIFICANT TREES ARE DEFINED AS:

CONDITION CODE OF 4 OR LESS, OR UNDESIRABLE SPECIES SUCH AS COTTONWOOD, GREEN ASH, AMUR MAPLE, BOX ELDER, ETC.

TREE CONDITION CODES:

1 - DEAD
2 - VERY POOR
3 - POOR
4 - FAIR
5 - AVERAGE
6 - GOOD
7 - VERY GOOD
8 - EXCELLENT
9 - OUTSTANDING

MIDWEST WETLAND improvements
P.O. BOX 448
VICTORIA, MN 55386
PHONE: (952) 261-9990
WWW.MIDWESTWETLANDS.COM

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

LICENSE NO.: 52856

DATE: 08-02-2023

SUB CONSULTANT:

DATE:	DESCRIPTION:	ISSUE NO.
05/25/2023	PRELIMINARY SUBMITTAL	01
06/07/2023	PRELIMINARY SUBMITTAL	02
06/27/2023	PRELIMINARY SUBMITTAL	03
08/02/2023	REVISIONS PER CITY COMMENT	04

PROJECT TITLE:

YLINEN PROPERTY
114 SALEM RD.
SUNFISH LAKE, MN

CLIENT:

M&M HOME CONTRACTORS
PO BOX 90
COLOGNE, MN 55322
CONTACT: MIKE FRITZ
PHONE: 612-654-2598

PROJECT NO.: 0026-01

DWN BY:	CHK'D BY:	APP'D BY:
PAG	LNJ	LNJ

ISSUE DATE: 08-02-2023

ISSUE NO.: 04

SHEET TITLE:

TREE SURVEY

SHEET NO.:

L-100

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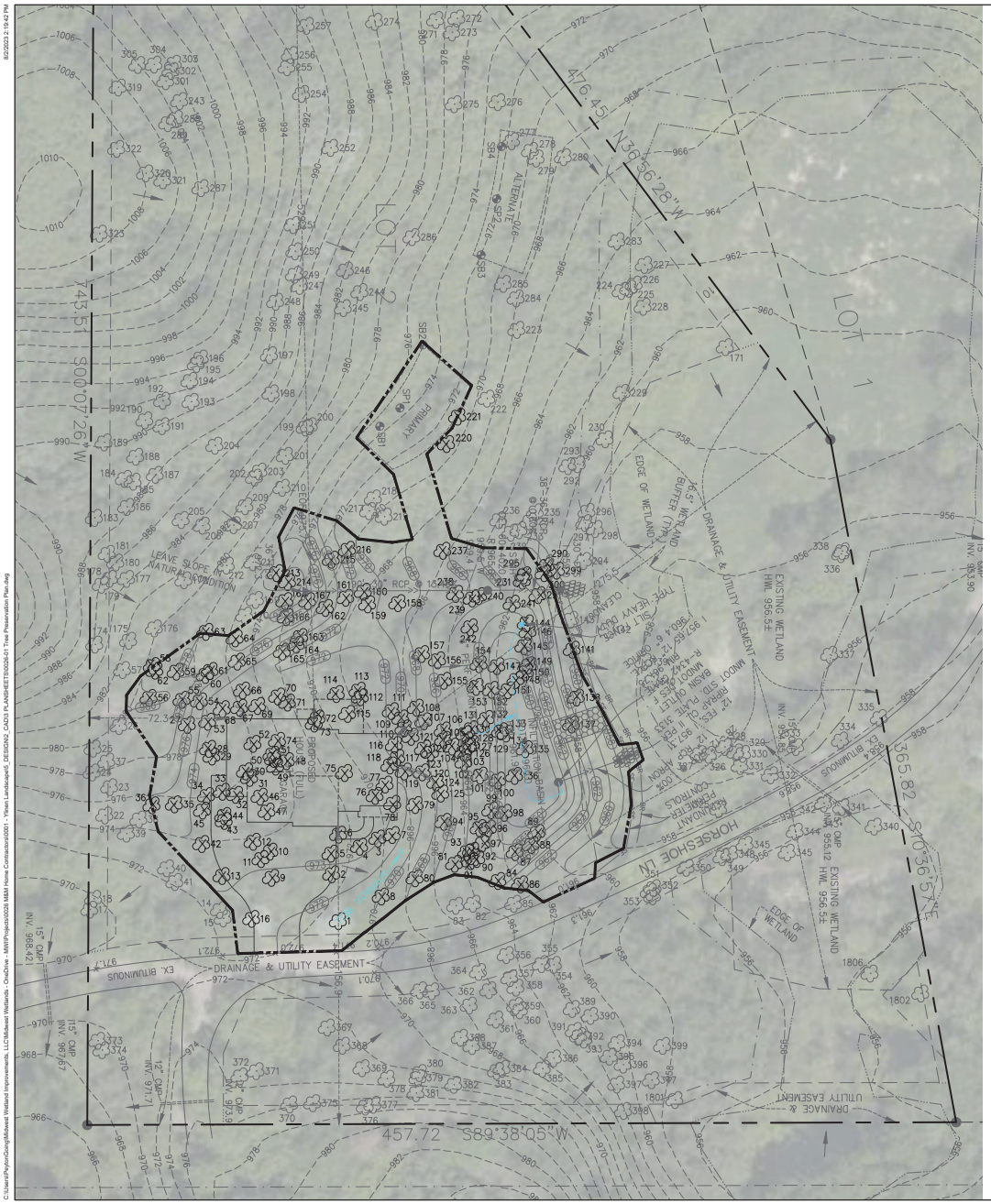

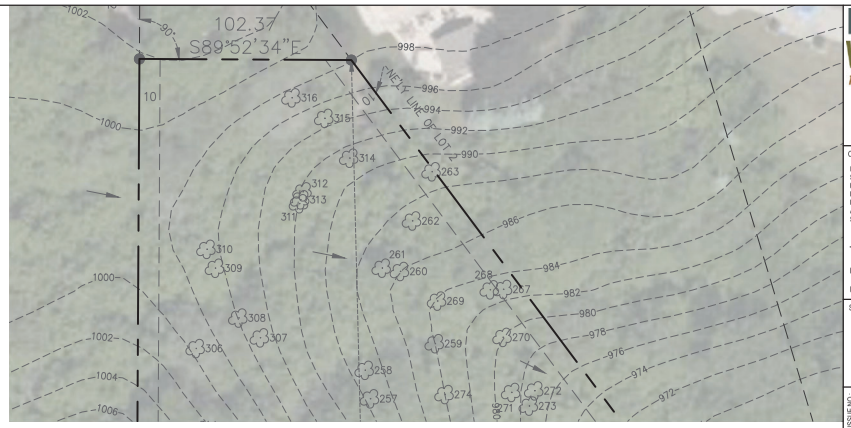

TREE PRESERVATION NOTES:

1. TREE PROTECTION FENCE SHALL BE INSTALLED AT THE DRIP-LINE OF ALL SIGNIFICANT TREES TO BE PRESERVED, FOLLOWING APPROXIMATELY THE GRADING AND CONSTRUCTION LIMITS.
2. TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO GRADING AND CONSTRUCTION ACTIVITY, AND SHALL REMAIN IN PLACE UNTIL ALL GRADING AND CONSTRUCTION ACTIVITY IS TERMINATED.
3. TREE PROTECTION FENCE SHALL BE SNOW FENCING OR POLYETHYLENE SAFETY NETTING INSTALLED PER DETAIL 4, SHEET L-106.

N

0 30 60
GRAPHIC SCALE IN FEET

LEGEND

- GRADING & CONSTRUCTION LIMITS
- PARCEL LINE
- 901 — EXISTING CONTOUR
- 900 — PROPOSED CONTOUR
- TREE FOR PRESERVATION
- TREE FOR REMOVAL

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166

MIDWEST WETLAND improvements
P.O. BOX 448
VICTORIA, MN 55386
PHONE: (952) 261-9990
WWW.MIDWESTWETLANDS.COM

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

LICENSE NO.: 52856

DATE: 08-02-2023

SUB CONSULTANT:

ISSUE NO.	DESCRIPTION	DATE
01	PRELIMINARY SUBMITTAL	06/26/2023
02	PRELIMINARY SUBMITTAL	07/07/2023
03	PRELIMINARY SUBMITTAL	08/27/2023
04	REVISIONS PER CITY COMMENT	08/02/2023

PROJECT TITLE:

YLINEN PROPERTY

114 SALEM RD.
SUNFISH LAKE, MN

CLIENT:

M&M HOME CONTRACTORS
PO BOX 90
COLOGNE, MN 55322
CONTACT: MIKE FRITZ
PHONE: 612-564-2586

PROJECT NO.:	0026-01
DWN BY: PAG / CHK'D BY: LNJ / APP'D BY: LNJ	
ISSUE DATE:	08-02-2023
ISSUE NO.:	04
SHEET TITLE:	TREE PRESERVATION PLAN
SHEET NO.:	L-101

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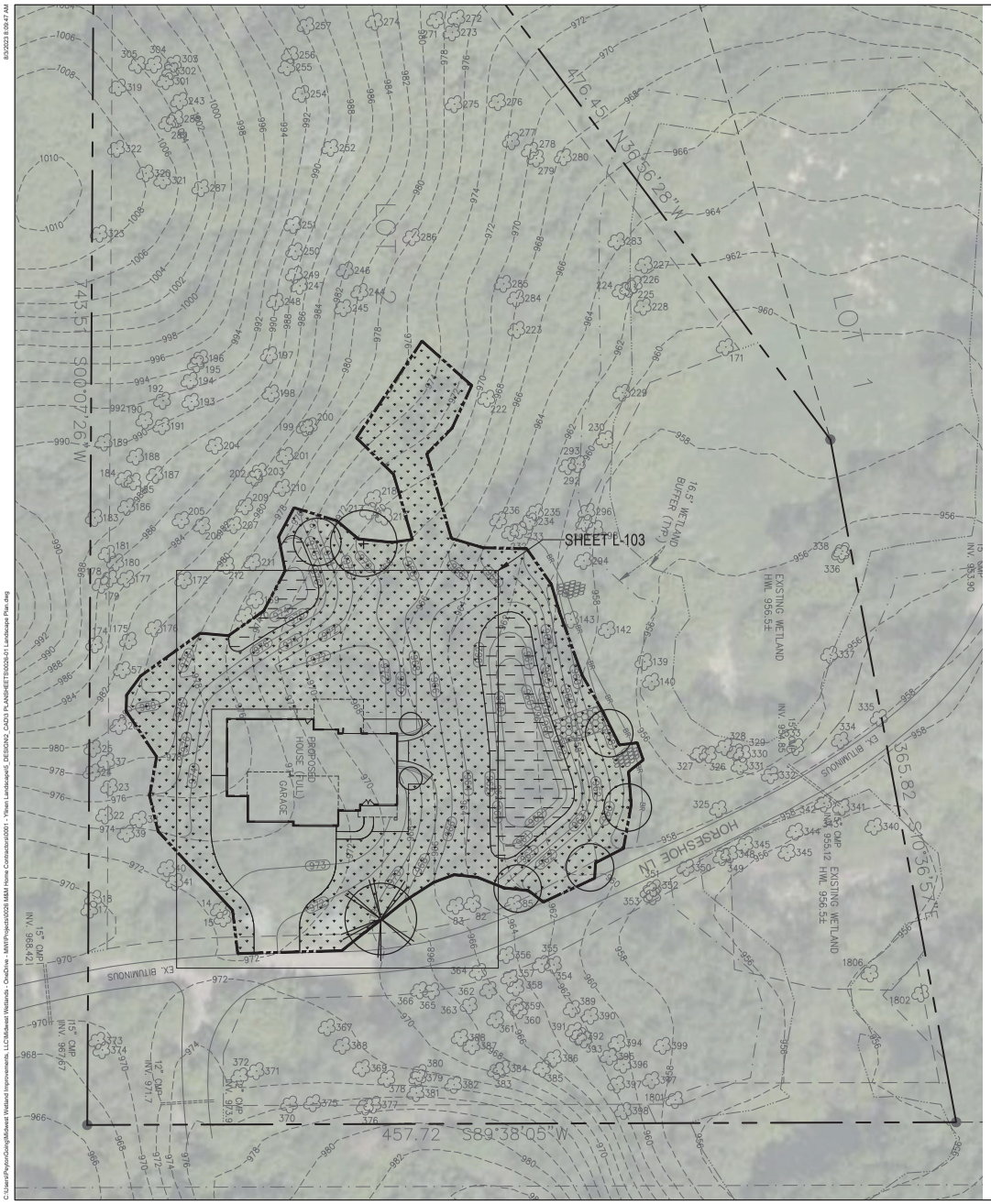

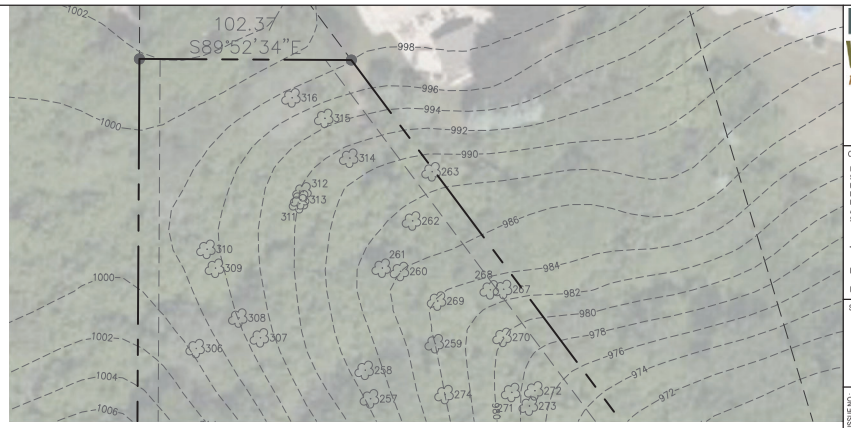

LANDSCAPE REQUIREMENTS

SEC 1218.03.B.6 EXISTING TREES

1. WITH RESPECT TO EXISTING TREES IN A NEW DEVELOPMENT, OR A SITE ALTERATION OR BUILDING EXPANSION PROJECT, ALL TREES ON THE SITE ARE TO BE SAVED WHICH DO NOT HAVE TO BE REMOVED FOR STREET, BUILDINGS, PARKING, UTILITIES, DRAINAGE OR ACTIVE RECREATIONAL PURPOSES. TREES OVER SIX (6) INCHES IN DIAMETER, MEASURED AT FIVE (5) FEET ABOVE THE GROUND, WHICH ARE TO REMAIN, ARE TO BE MARKED WITH A RED FLAG, AND TO BE PROTECTED WITH SNOW FENCES OR OTHER SUITABLE ENCLOSURE, PRIOR TO ANY EXCAVATION. SAID PROTECTION PLAN SHAL BE SUBJECT TO THE REVIEW AND APPROVAL BY THE CITY FORESTER. THE CITY MAY FURTHER REQUIRE THAT THE DEVELOPER RETAIN A PROFESSIONAL FORESTER TO PREPARE A FOREST INVENTORY AND MANAGEMENT PLAN FOR THE DEVELOPMENT, IN ORDER TO CONTROL AND ABATE ANY EXISTING OR POTENTIAL LOSS. IN THOSE INSTANCES WHERE TREES OF OVER SIX (6) INCHES IN CALIPER WILL BE LOST DUE TO CONSTRUCTION, THE CITY COUNCIL MAY REQUIRE THE PLANTING OF NEW TREES IN AN AMOUNT EQUAL TO OR GREATER THAN THE TOTAL CALIPER INCHES WHICH WILL BE REMOVED.

CITY OF SUNFISH LAKE DESIGN STANDARDS AND CRITERIA

1. ALL AREAS WITHIN PROPERTY LINES (OR BEYOND, IF SITE GRADING EXTENDS BEYOND) SHALL BE TREATED. ALL EXTERIOR AREAS NOT PAVED OR DESIGNATED AS DRIVES, PARKING, PATIOS OR WALKWAYS MUST BE PLANTED INTO ORNAMENTAL VEGETATION (LAWNS, GROUND COVERS, GRASSES, PERENNIAL FLOWERS, TREES OR SHRUBS) UNLESS OTHERWISE APPROVED BY THE CITY FORESTER.

TREE REPLACEMENT REQUIREMENTS

1. 88 SIGNIFICANT TREES ARE PROPOSED FOR REMOVAL.
2. THE CITY OF SUNFISH LAKE, MN REQUIRES SIGNIFICANT TREE REPLACEMENT ON A TREE FOR TREE BASIS. ONE NEW TREE PLANTED FOR EVERY SIGNIFICANT TREE REMOVED.
3. 9 NEW TREES ARE PROPOSED FOR PLANTING ON SITE.
4. OFF-SITE MITIGATION FOR THE NUMBER OF SIGNIFICANT TREES NOT REPLACED ONSITE SHALL BE COMPENSATED AT $75 PER TREE.
5. 88 SIGNIFICANT TREES - 9 NEW TREES ON SITE = 79 TREES TO BE COMPENSATED OFF SITE.
6. 79 TREES x $75/TREE = $5,925 PAYABLE TO THE CITY'S FORESTRY FUND.

GROUND COVER LEGEND

DENOTES IRRIGATED MNDOT LOW MAINTENANCE TURF. IRRIGATION DESIGN BY CONTRACTOR. (25-131) SEED MIX. TOTAL AREA (0.7 AC)

DENOTES MNDOT STORMWATER SOUTH & WEST (33-261) SEED MIX. TOTAL AREA (0.1 AC)

1. THE SUGGESTED SEEDING RATE FOR MNDOT LOW MAINTENANCE TURF (25-131) IS 220 LB/AC.
2. THE SUGGESTED SEEDING RATE FOR MNDOT STORMWATER SOUTH & WEST (33-261) IS 35 LB/AC.
3. PLEASE REFER TO THE MNDOT SEEDING MANUAL FOR SEEDING BED PREPARATION, METHOD AND APPLICATION RATE.
4. ALL TEMPORARILY DISTURBED AREAS TO BE SEEDED WITH MNDOT LOW MAINTENANCE TURF (25-131) UNLESS NOTED OTHERWISE.

PLANT LEGEND

AMUR MAACKIA 'SUMMER TIME'

IRONWOOD

RIVER BIRCH

BUR OAK

LEGEND

GRADING & CONSTRUCTION LIMITS

PARCEL LINE

901 EXISTING CONTOUR

900 PROPOSED CONTOUR

TREE FOR PRESERVATION

N

0 30 60
GRAPHIC SCALE IN FEET

WARNING:

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GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166

MIDWEST WETLAND improvements
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VICTORIA, MN 55386
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LICENSE NO.: 52856

DATE: 08-02-2023

SUB CONSULTANT:

ISSUE NO.	DESCRIPTION	DATE
01	PRELIMINARY SUBMITTAL	06/26/2023
02	PRELIMINARY SUBMITTAL	07/26/2023
03	PRELIMINARY SUBMITTAL	08/27/2023
04	REVISIONS PER CITY COMMENT	08/02/2023

PROJECT TITLE:

YLINEN PROPERTY

114 SALEM RD.
SUNFISH LAKE, MN

CLIENT:

M&M HOME CONTRACTORS
PO BOX 90
COLOGNE, MN 55322
CONTACT: MIKE FRITZ
PHONE: 612-554-2598

PROJECT NO.: 0026-01

DWN BY:	CHK'D BY:	APP'D BY:
PAG	LNJ	LNJ

ISSUE DATE: 08-02-2023

ISSUE NO.: 04

SHEET TITLE:

LANDSCAPE PLAN

SHEET NO.:

L-102

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PLANT SCHEDULE

SYMBOL	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING O.C.	MATURE DIMENSIONS
DECIDUOUS TREES						
IRW	5	IRONWOOD	*Ostrya virginiana*	2" BB	AS SHOWN	H 25-40' W 20'-30'
RB	1	RIVER BIRCH	*Betula nigra*	2" BB	AS SHOWN	H 40-70' W 30'-50'
BUO	1	BUR OAK	*Quercus macrocarpa*	2" BB	AS SHOWN	H 60-80' W 60'-80'
AMS	2	AMUR SUMMERTIME	*Maackia amurensis 'Summertime'*	2" BB	AS SHOWN	H 20-30' W 20'-30'
SHRUBS						
SC	24	SUGARTINA CLETHRA	*Clethra alnifolia 'Crystalina'*	#2	AS SHOWN	H 30" W 30"
BPJ	15	BLUE PRINCE JUNIPER	*Juniperus horizontalis 'Blue Prince'*	#2	AS SHOWN	H 8" W 5'
PERENNIALS						
JPF	17	JAPANESE PAINTED FERN	*Athyrium nipponicum 'Pictum'*	#1	AS SHOWN	H 12-18" W 15"
LRF	30	LADY IN RED FERN	*Athyrium felix-forma 'Lady in Red'*	#1	AS SHOWN	H 30-36" W 24"
VWA	50	VISION IN WHITE ASTILBE	*Astilbe chinensis 'Vision in White'*	#1	AS SHOWN	H 24-36" W 18"
CGY	1	COLOR GUARD YUCCA	*Yucca filamentosa 'Color Guard'*	#1	AS SHOWN	H 72" W 36"
LR	10	LIGULARIA "THE ROCKET"	*Ligularia stenocephala 'The Rocket'*	#1	AS SHOWN	H 48" W 36"
GRASSES						
JFG	103	JAPANESE FOREST GRASS	*Hakonechloa macra*	#1	AS SHOWN	H 14" W 16"
PD	74	PRAIRIE DROPSEED	*Sporobolus heterolepis*	#1	AS SHOWN	H 24" W 24"
KFG	14	KARL FOERSTER GRASS	*Calamagrostis x acutiflora 'Karl Foerster'*	#1	AS SHOWN	H 3-5' W 1.5-2.5'

HARDSCAPE SCHEDULE

SYMBOL	ITEM	DESCRIPTION	NOTES	UNIT	QTY	COLOR
SS1	STONE STEPPERS	FULL COLOR BLUESTONE IRREGULAR FLAGGING. 1-12" X 24" TO 36". SET IN TURF OR ROCK MULCH	SAW CUT ONE SIDE TO BE PARALLEL TO ADJACAENT ALIGNMENT	EA	19	FULL COLOR
W1	BLOCK RETAINING WALL	TECHO BLOC G-FORCE, HEIGHT VARIES TO MATCH GRADE.	SF INLCUDES BURIED BASE COURSE	SF	150	SHALE GRAY
	WALL CAP	TECHO BLOC RAFFINATO SMOOTH 60 MM		LF	36	SHALE GRAY
AG1	AGGREGATE	2-1/2" DIA. TRAP ROCK WITH WEED BARRIER UNDERLAYMENT @ 4" DEPTH		SF	504	
MC1	MULCH	SHREDDED HARDWOOD MULCH @ 3" DEPTH		SF	1335	CHOCOLATE BROWN
E1	EDGING	FULL COLOR BLUESTONE NATURAL STONE EDGER. 3" TO 4" X 4" RANDOM LENGTH. SET TO MATCH ELEVATION OF TURF.		LF	231	FULL COLOR

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GRAPHIC SCALE IN FEET

LEGEND

- GRADING & CONSTRUCTION LIMITS
- PARCEL LINE
- 901 — EXISTING CONTOUR
- 900 — PROPOSED CONTOUR
- TREE FOR PRESERVATION

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166

MIDWEST WETLAND improvements
P.O. BOX 448
VICTORIA, MN 55386
PHONE: (952) 261-9990
WWW.MIDWESTWETLANDS.COM

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

LICENSE NO.: 52856

DATE: 08-02-2023

SUB CONSULTANT:

DATE:	DESCRIPTION:	ISSUE NO.
06/26/2023	PRELIMINARY SUBMITTAL	01
06/30/2023	PRELIMINARY SUBMITTAL	02
08/27/2023	PRELIMINARY SUBMITTAL	03
08/02/2023	REVISIONS PER CITY COMMENT	04

PROJECT TITLE:

YLINEN PROPERTY

114 SALEM RD.
SUNFISH LAKE, MN

CLIENT:

M&M HOME CONTRACTORS
PO BOX 90
COLOGNE, MN 55322
CONTACT: MIKE FRITZ
PHONE: 612-954-2598

PROJECT NO.: 0026-01

DWN BY:	CHK'D BY:	APP'D BY:
PAG	LNJ	LNJ

ISSUE DATE: 08-02-2023

ISSUE NO.: 04

SHEET TITLE: HARDSCAPE & FOUNDATION PLANTINGS

SHEET NO.: L-103

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PLANT LEGEND

- BUR OAK
- RIVER BIRCH
- IRONWOOD
- AMUR SUMMERTIME
- COLOR GUARD YUCCA
- SUGARTINA CLETHRA
- VISION IN WHITE ASTILBE
- LADY IN RED FERN
- LIGULARIA THE ROCKET
- PRAIRIE DROPSEED
- KARL FORESTER GRASS
- BLUE PRINCE JUNIPER
- JAPANESE PAINTED FERN
- JAPANESE FOREST GRASS

LEGEND

- GRADING & CONSTRUCTION LIMITS
- PARCEL LINE
- DENOTES IRRIGATED MNDOT LOW MAINTENANCE TURF. IRRIGATION DESIGN BY CONTRACTOR. (25-131) SEED MIX. TOTAL AREA (0.7 AC)
- DENOTES MNDOT STORMWATER SOUTH & WEST (33-261) SEED MIX. TOTAL AREA (0.1 AC)

N

0 12 24
GRAPHIC SCALE IN FEET

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GOPHER STATE ONE CALL

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TOLL FREE 1-800-252-1166

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DATE: 08-02-2023

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SUNFISH LAKE, MN

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M&M HOME CONTRACTORS
PO BOX 90
COLOGNE, MN 55322
CONTACT: MIKE FRITZ
PHONE: 612-954-2696

PROJECT NO.:	0026-01
DWN BY: PAG / CHK'D BY: LNJ / APP'D BY: LNJ	
ISSUE DATE:	08-02-2023
ISSUE NO.:	04
SHEET TITLE:	LANDSCAPE PLAN - COLOR RENDERING
SHEET NO.:	L-104

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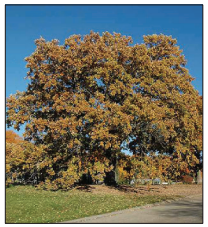
DECIDUOUS TREES

IRONWOOD - ***Ostrya virginiana***
H 25-40' W 20-30'

RIVER BIRCH - ***Betula nigra***
H 40-70' W 30-50'



BUR OAK - ***Quercus macrocarpa***
H 60-80' W 60-80'

AMUR SUMMERTIME - ***Maackia amurensis 'Summertime'***
H 20-30' W 20-30'

SHRUBS

SUGARTINA CLETHRA - ***Clethra alnifolia 'Crystalina'***
H 30" W 30"

BLUE PRINCE JUNIPER - ***Juniperus horizontalis 'Blue Prince'***
H 8" W 5'

PERENNIALS

JAPANESE PAINTED FERN - ***Athyrium niponicum 'Pictum'***
H 12-18" W 15"

LADY IN RED FERN - ***Athyrium felix-femina 'Lady in Red'***
H 30-36" W 24"

VISION IN WHITE ASTILBE - ***Astilbe chinensis 'Vision in White'***
H 24-36" W 18"

COLOR GUARD YUCCA - ***Yucca filamentosa 'Color Guard'***
H 72" W 36"

LIGULARIA "THE ROCKET" - ***Ligularia stenocephala 'The Rocket'***
H 48" W 36"

GRASSES

JAPANESE FOREST GRASS - ***Hakonechloa macra***
H 14" W 16"

PRAIRIE DROPSEED - ***Sporobolus heterolepsis***
H 24" W 24"

KARL FOERSTER GRASS - ***Calamagrostis x acutiflora 'Karl Foerster'***
H 3-5' W 1.5-2.5'

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PO BOX 90
COLOGNE, MN 55322
CONTACT: MIKE FRITZ
PHONE: 612-564-2586

PROJECT NO.: 0026-01

DWN BY:	CHK'D BY:	APP'D BY:
PAG	LNJ	LNJ

ISSUE DATE: 08-02-2023

ISSUE NO.: 04

SHEET TITLE:

PLANT PALETTE

SHEET NO.:

L-105

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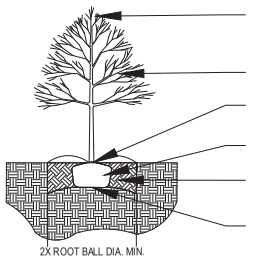
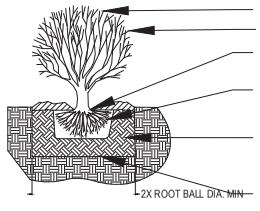
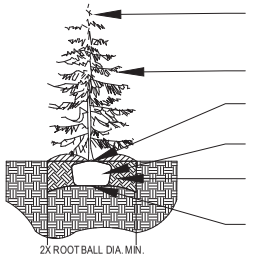


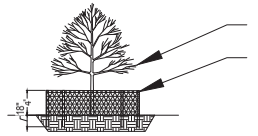
1 DECIDUOUS TREE PLANTING DETAIL
L-106 NOT TO SCALE



2 SHRUB & CONTAINER PLANTING DETAIL
L-106 NOT TO SCALE



3 CONIFEROUS TREE PLANTING DETAIL
L-106 NOT TO SCALE



4 TREE PROTECTION FENCE DETAIL
L-106 NOT TO SCALE

MIDWEST WETLAND improvements
P.O. BOX 448
VICTORIA, MN 55386
PHONE: (952) 261-9990
WWW.MIDWESTWETLANDS.COM

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01	PRELIMINARY SUBMITTAL	05/25/2023
02	PRELIMINARY SUBMITTAL	06/07/2023
03	PRELIMINARY SUBMITTAL	06/27/2023
04	REVISIONS PER CITY COMMENT	08/02/2023

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DWN BY:	CHK'D BY:	APP'D BY:
PAG	LNJ	LNJ

ISSUE DATE: 08-02-2023

ISSUE NO.: 04

SHEET TITLE:

LANDSCAPE DETAILS

SHEET NO.:

L-106

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114 Salem Church Road – Architectural Review

To whom it may concern, included is a square footage calculation as well as a design breakdown of the exterior and other features of the Ylinen Residence located at 114 Salem Church Road in Sunfish Lake. Please contact us at Littfin Design with any questions.

Square footage Calculations:

Basement Total:	3,817
First Floor Total:	3,329 (including garage)
Second Floor Total:	2,562
Grand total:	**9,708 square feet**

Exterior Architectural Analysis.

The exterior of the home in question was developed using design features of a few different styles. We have combined things from more modern and contemporary architecture along with more traditional architectural styles such as gothic and cottage stylings as noted below. We wanted to have some nice, steep peaks that you might see in gothic architecture to accentuate portions of the front of the home for when people pull up to it. We also placed some cottage style shed dormers and rounded eves/overhangs at certain portions of the home. The contemporary items include metal roof accents as well as an interesting flat-roof system hanging from metal cable supports. The windows have a more modern feel with their larger size and mulled together to give them that certain look and feel. We then accented the home with a more natural wood tone garage door, entry door, and front columns just to set things off. This combined with a white siding/body and black/bronze accent pieces give a nice contrast that is not only pleasing to the eye but a timeless combination of colors sure to last for years to come.

The sides are more subdued but have the same colors and window trim/features to continue the architecture without breaking the bank for our customer. We've done things with stacked windows and larger doors to give the owner excellent amounts of natural light and grand views of their expansive rear yard. We've also incorporated design features such as "trimless" corners, sometimes referred to as feathered siding corners to give a more classic feel and look. We also included louvers in the front gables (decorative) to give that little extra feature that is both pleasing to the eye and reminiscent of homes built in the early 1900's. Overall, we are very pleased with the design of this home and are excited to see it built in Sunfish Lake.

Thank you,

Mitchell Littfin

Littfin Design

YLINEN RESIDENCE

SQUARE FOOTAGE CALCULATIONS	
BASEMENT:	
FINISHED SQ. FTG.	3683 SQ.FT
UNFINISHED SQ. FTG.	134 SQ.FT.
OVERALL BASEMENT SQ. FTG.	3817 SQ.FT.
FIRST FLOOR:	
FINISHED SQ. FTG.	1915 SQ.FT.
GARAGE SQ. FTG.	1414 SQ.FT.
OVERALL FIRST FLOOR SQ. FTG.	3329 SQ.FT.
SECOND FLOOR:	
FINISHED SQ. FTG.	2562 SQ.FT.
TOTAL FINISHED SQ. FTG:	**8160 SQ.FT.**
GRAND TOTAL SQ. FTG:	**9706 SQ.FT.**

SHEET INDEX:

C	COVER
C2	COLOR RENDERINGS
A1	FRONT & LEFT ELEVATIONS
A2	REAR & RIGHT ELEVATIONS
A3	ROOF PLAN
A4	FOUNDATION PLAN
A5	FINISHED BASEMENT
A6	FIRST FLOOR PLAN
A7	SECOND FLOOR PLAN
D1	SECTION THROUGH HOME
D2	SECTION THROUGH HOME
D3	SECTION THROUGH HOME
D4	DETAILS
D5	DETAILS
R1	RADON DETAILS
S1	WALL BRACING PLAN
S2	WALL BRACING PLAN
S3	WALL BRACING DETAILS
S4	FOUND. ENGINEERING DETAILS

PLAN INFORMATION:

FRAMING NOTES:

1. ALL EXTERIOR WALLS TO BE 16" O.C. WITH A DOUBLE TOP PLATE UNLESS OTHERWISE NOTED.
2. WALL FRAMING SHALL BE S.P.F. STUD GRADE OR BETTER UNLESS NOTED OTHERWISE (U.N.O.)
3. ALL HEADERS SHALL BE PER PLAN
4. ALL EXTERIOR HEADERS SHALL HAVE (1)2X6 BEARING STUD & (1) 2X6 FULL HEIGHT KING STUD ON EACH SIDE U.N.O. (REVIEW PLANS)
5. ALL INTERNAL HEADERS & BEAMS SHALL HAVE (1)2X6 OR (1)2X4 BEARING STUD ON EACH SIDE U.N.O.
6. EXTERIOR SHEATHING SHALL BE 7/16" MATERIAL CONSISTING OF ORIENTED STRAND BOARD (OSB).-ALL FLOOR AND CEILING SYSTEMS TO BE CHECKED AND DESIGNED BY THE DESIGNATED MANUFACTURER. FLOOR PLANS TO BE ON SITE.
7. HEADER SIZES ARE TO BE USED PER PLAN AND DEVIATION FROM ANY SIZE MUST BE APPROVED BY DESIGNERS.
8. PRESSURE TREADED WOOD IS TO BE USED WHERE WOOD IS IN CONTACT WITH CONCRETE AND AT 2X6 MUD SILL. TREATED MEMBERS TO BE S.Y.P.#2 OR BETTER.
9. FOR OPENINGS IN EXTERIOR WALLS (OR WALLS W/ LATERAL LOADING:
   - a. 0'-0" - 4'-0" = 1 JACK STUD
   - b. 4'-0" - 8'-0" = 2 JACK STUDS
   - c. 8'-0" - 12'-0" = 3 JACK STUDS
   - d. GREATER THAN 12' = CONSULT ENG.
10. POSTS CALLED OUT ARE NUMBER OF KING STUDS REQUIRED PER SIDE OF OPENING.

CONCRETE NOTES:

1. ALL CONCRETE FOOTINGS AND FOUNDATION SYSTEMS ARE DESIGNED FOR A 2000 P.SF. SOIL.
2. FOUNDATION WALLS SHALL BE FULL HEIGHT AT UNBALANCED FILL GREATER THAN 3'4".
3. 1/2" ANCHOR BOLTS EMBEDDED 7" MINIMUM @ 6' O.C. MAX. 12" MIN, FROM EACH END. MINIMUM OF 2 BOLTS IN EACH SILL PLATE (REFER TO STRUCTURAL PAGES).
4. PAD FOOTING REINFORCEMENT IS TO BE LOCATED (3") FROM BOTTOM OF FOOTING TYP. (WHEN REQUIRED)
5. REFER TO STRUCTURAL PAGES FOR ADDITIONAL INFORMATION REGARDING RE-BAR/ETC.
6. **MIN. 5000 PSI CONCRETE @ ALL FOOTINGS**

INSULATION:

1. ALL EXTERIOR WALLS TO HAVE A MINIMUM RATING OF R-20.
2. ALL ATTIC SPACES ARE TO HAVE A MINIMUM RATING OF R-49.
3. ALL FLOOR SPACES OVER UNCONDITIONED SPACE OR CANTILEVERED ARE TO BE INSULATED TO MIN. R30.

SHEETROCK/GYPSUM BOARD:

1. ALL CEILINGS ARE TO HAVE 5/8" NON-SAG GYPSUM BOARD UNLESS OTHERWISE NOTED.
2. ALL WALLS ARE TO HAVE $\frac{1}{2}$" GYPSUM BOARD UNLESS OTHERWISE NOTED.
3. GARAGE CEILING AND WALLS THAT ADJOIN HOUSE WALLS ARE TO BE $\frac{5}{8}$" GYPSUM BOARD PER CODE.

DOORS & WINDOWS:

1. ALL WINDOWS AND DOORS TO BE DOUBLE PANE GLASS PANELS WITH LOW-E RATINGS.
2. ANY WINDOW WITHIN 24" OF A DOOR SWING MUST BE TEMPERED PER CODE.
3. ANY WINDOW ABOVE A TUB/WET AREA MUST BE TEMPERED PER CODE.
4. ANY WINDOW WITHIN A STAIRWAY MUST BE TEMPERED PER CODE.
5. WINDOW GLAZING MUST BE AT LEAST 18" A.F.F. WHEN WINDOW IS ABOVE 6' FROM GRADE. IF WITHIN 18", WINDOW MUST BE TEMPERED.
6. ALL BEDROOMS TO HAVE AT LEAST ONE WINDOW THAT HAS A CLEAR EGRESS OPENING OF 5.7 SQ. FT. WITH MIN. DIMENSIONS OF 24" IN HEIGHT AND 20" IN WIDTH, SILL HEIGHT NOT TO BE GREATER THAN 44" A.F.F.
7. WINDOWS WITH SILLS WITHIN 2' OF THE FLOOR THEY SERVE AND ARE 72" ABOVE GRADE MUST EITHER HAVE A FALL PREVENTION OR OPENING LIMITER DEVICE PER CODE.

MECHANICAL & ELECTRICAL:

1. ALL ELECTRICAL AND MECHANICAL EQUIPMENT TO BE VERIFIED AND INSTALLED PER CODE BY APPROVED TRADES AND INSTALLERS.
2. HVAC CONTRACTOR TO VERIFY LAYOUT FOR DUCT-RUNS BEFORE INSTALLATION, IF MODIFICATION IS REQUIRED, REPORT INFORMATION/CHANGES TO CONTRACTOR & LITTFIN DESIGN.

CODE INFORMATION:

SINGLE FAMILY CONSTRUCTION TYPE IRC-1
-2020 MINNESOTA STATE RESIDENTIAL CODE
-2020 NATIONAL ELECTRICAL CODE
-2020 MINNESOTA STATE MECHANICAL&FUEL GAS CODE
-2020 MINNESOTA STATE FIRE CODE
-2020 MINNESOTA PLUMBING CODE

SOIL TYPE:

DESIGNED WITH 2000 PSI SOILS, ALL FOUNDATION CONSTRUCTION MUST FACTOR IN THIS AT A MINIMUM.

WIND EXPOSURE:

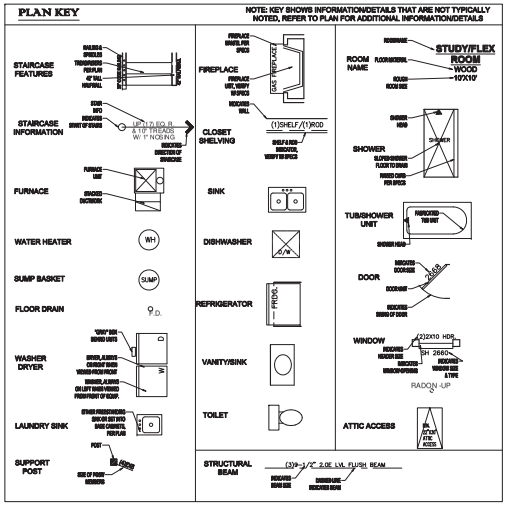
DESIGNED WITH "EXPOSURE B" CLASSIFICATIONS AND WIND
GUSTS OF 115 MPH PER 2020 MN RESIDENTIAL CODE REGULATIONS.

GENERAL NOTES:

-ALL FOUNDATION WALL STRUCTURAL INFORMATION USED TO CONSTRUCT THE FOUNDATION SYSTEM IS TO BE ON SITE WHEN POURING OR BUILDING WALLS.
-ALL STRUCTURAL BEAMS, POSTS & TALL WALLS ARE TO BE BUILT PER I-LEVEL SPECIFICATIONS.
-ALL MANUFACTURED FLOOR & ROOF TRUSSES ARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
-ALL MANUFACTURED FLOOR & ROOF TRUSS SPECIFICATIONS ARE TO BE ON SITE DURING INSTALLATION.

-WINDOW SIZE NOTES (EXAMPLES):

-SH3050 EQUALS SINGLE HUNG 3'0" BY 5'0"
-FX2646 EQUALS FIXED 2'6" BY 4'6"



REVISION:	REV. DATE:
ISLAND/FRIDGE CHANGES, REMOVED BACK WINDOW	4-14-23
STAIRCASE GABLE HEIGHT ADJUSTED	4-14-23
REVISED ITEMS PER OWNER/REVISED WINDOW SIZES	4-20-23
REVISED TO ADD LOOKOUT CONDITION ON BACK CORNER	4-25-23

DRAWING TITLE: YLINEN RESIDENCE

LOCATION: 114 SALEM CHURCH ROAD, SUNFISH LAKE, MN

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PAGE: L C D

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LEFT ELEVATION

FRONT ELEVATION

RIGHT ELEVATION

REAR ELEVATION

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CURRENT DATE: 4-25-23

PAGE L C2 D

PAGE DESCRIPTION: COLOR RENDERS

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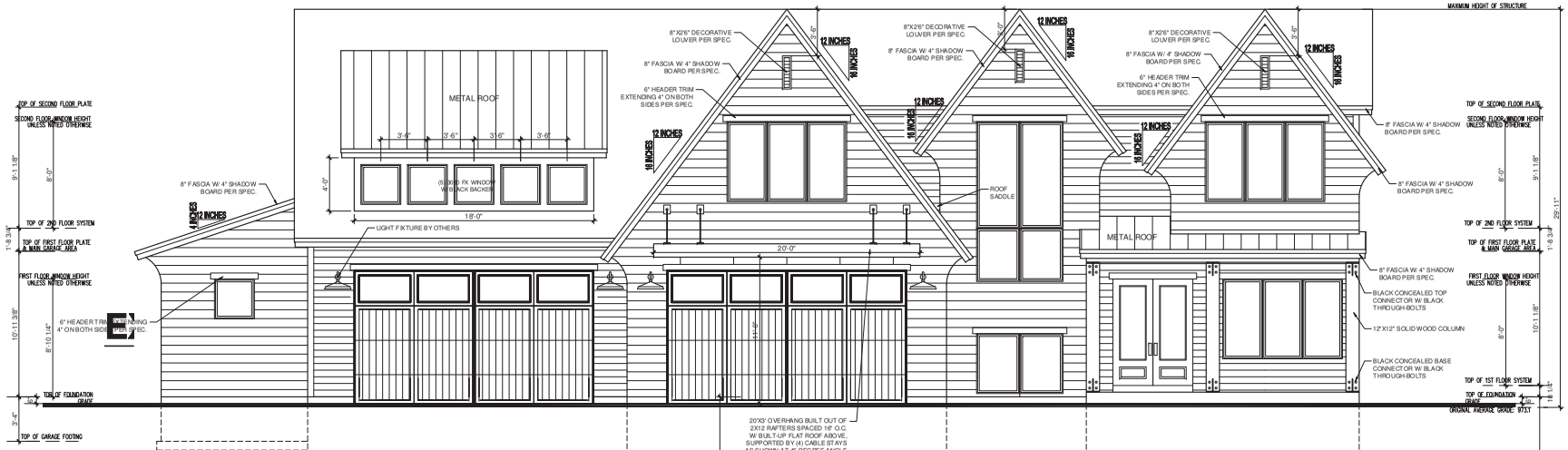
NOTE:
ICE AND WATER BARRIER @ BOTTOM 6' OF ALL ROOF LINES, EXTEND BARRIER MIN. 3' ON EACH SIDE OF VALLEY, COVER ENTIRE FACE OF ROOF SADDLES. VERIFY ADDITIONAL LOCATIONS OF ICE AND WATER BARRIER AS NEEDED IN FIELD.

GENERAL EXTERIOR NOTES:

1. ALL EXT. TRIM TO BE FLASHED PER CODE.
2. SUPPLY DRIPCAPS ON ALL WINDOWS AND DOORS.
3. SUPPLY SEPARATION BETWEEN WOOD, COMPOSITE WOOD AND ANY OTHER WOOD MATERIAL PER SPECIFICATIONS.
4. SUPPLY AT LEAST 6" OF SPACE BETWEEN BOTTOMS OF WINDOWS AND ROOFS.
5. GRADE CONDITIONS MAY VARY ON SITE.
6. PROVIDE ROOF AND SOFFIT VENTS PER IRC CODE REGULATIONS.
7. ALL FURNACE FLUES, PLUMBING VENTS, FIREPLACE VENTS AND OTHER PENETRATIONS THROUGH ROOF OR WALLS TO EXTEND THROUGH REAR OF HOME WHENEVER POSSIBLE.
8. ALL PENETRATIONS THROUGH EXTERIOR WALLS OR ROOFING MUST BE SEALED AND FLASHED PER MANUF. SPECIFICATIONS AND IRC CODE REGULATIONS.
9. DOTTED AREA ON ROOF PLAN INDICATES LOCATION OF ICE/WATER BARRIER.
10. HOLD STONE OFF GRADE MINIMUM OF 3".
11. REFER TO MANUF. SPECIFICATIONS FOR STONE.
12. GARAGE BUCK BOARD MATERIAL IS TO BE COMPOSITE WOOD AND SIZED TO COVER THE EDGE OF STONE.
13. ALL BEAMS HOLDING UP PORCH ROOFS ARE TO BE DROPPED UNLESS OTHERWISE NOTED.

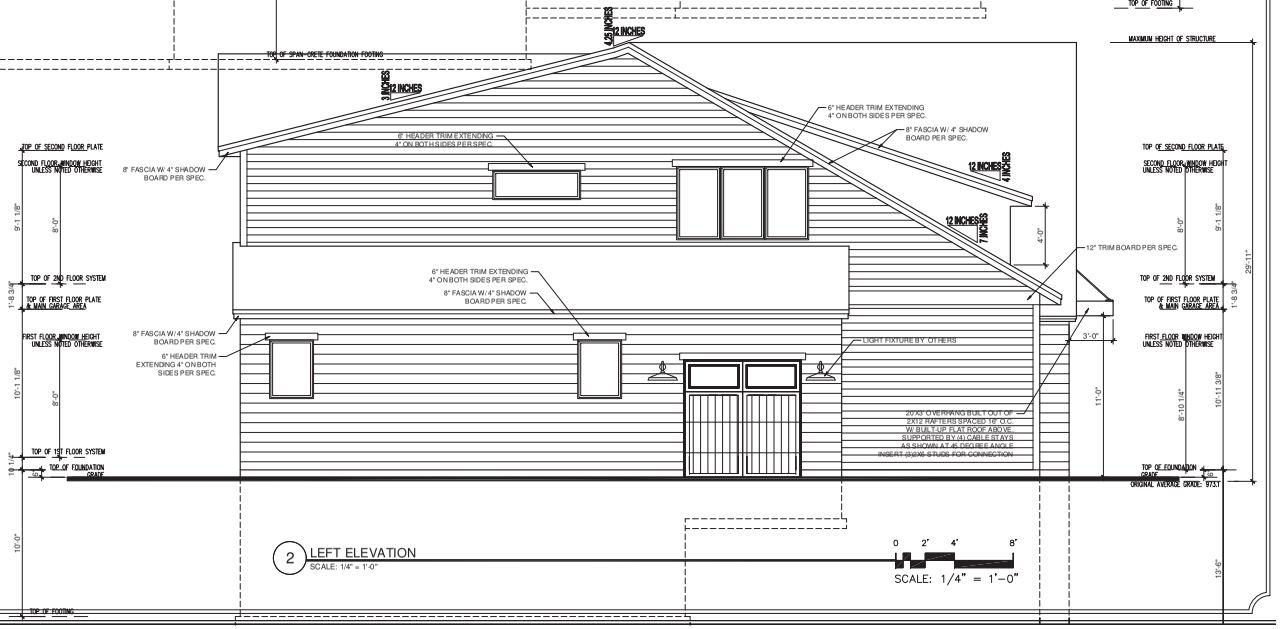
EXTERIOR MATERIAL KEY

8" HORIZONTAL SIDING -MATERIAL: SMART-SIDING, VERIFY W/ SPEC.	
6" HORIZONTAL SIDING -MATERIAL: SMART-SIDING, VERIFY W/ SPEC.	



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4" = 1'-0"

REVISION:	REV. DATE:
ISLAND/BRIDGE CHANGES, REMOVED BACK WINDOW	4-14-23
STAIRCASE GABLE HEIGHT ADJUSTED	4-14-23
REVISED ITEMS PER OWNER/REVISED WINDOW SIZES	4-20-23
REVISED TO ADD LOOKOUT CONDITION ON BACK CORNER	4-25-23

DRAWING TITLE:
YLINEN RESIDENCE
LOCATION:
114 SALEM CHURCH ROAD, SUNFISH LAKE, MN

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CURRENT DATE: 4-25-23

PAGE L A1 D

PAGE DESCRIPTION: FRONT & LEFT ELEVATIONS
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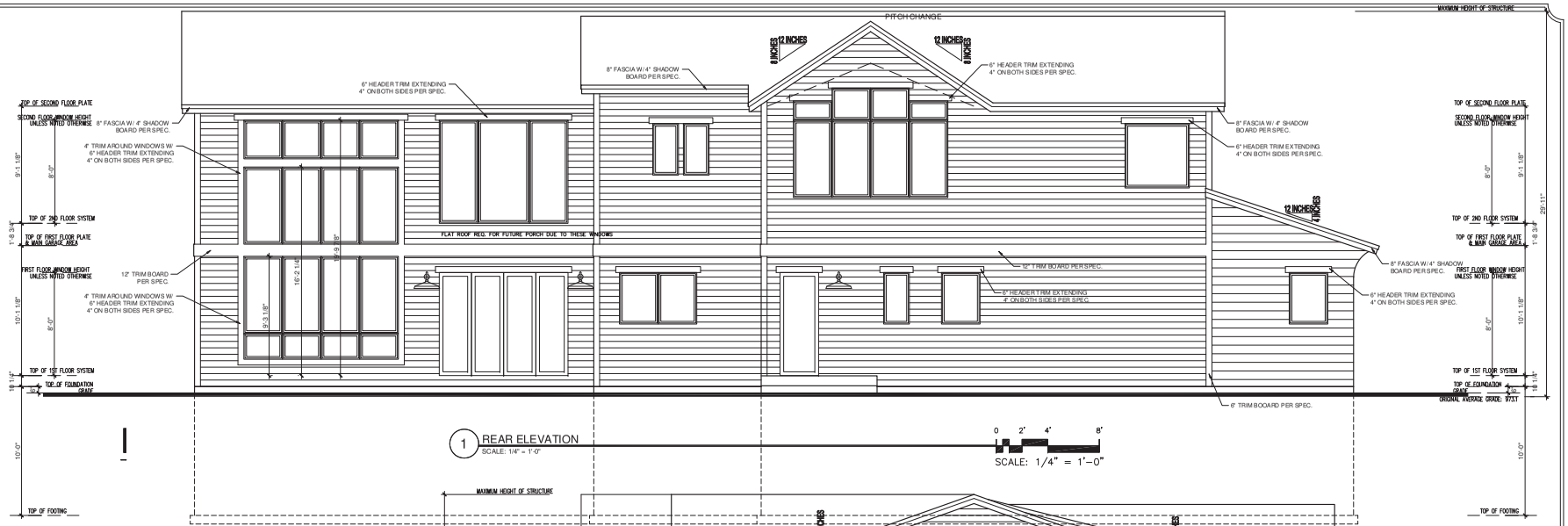
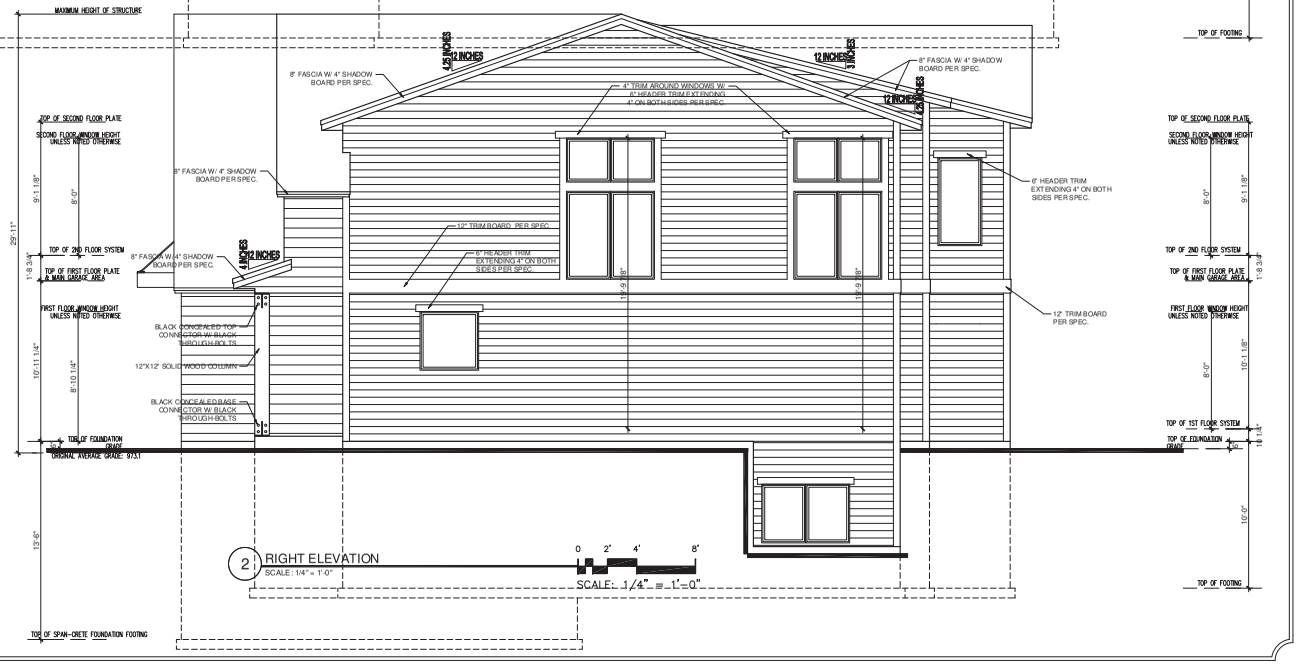


1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

NOTE:
ICE AND WATER BARRIER @ BOTTOM 6' OF ALL ROOF LINES, EXTEND BARRIER MIN. 3' ON EACH SIDE OF VALLEY, COVER ENTIRE FACE OF ROOF SADDLES. VERIFY ADDITIONAL LOCATIONS OF ICE AND WATER BARRIER AS NEEDED IN FIELD.



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

GENERAL EXTERIOR NOTES:

1. ALL EXT. TRIM TO BE FLASHED PER CODE.
2. SUPPLY DRIPCAPS ON ALL WINDOWS AND DOORS.
3. SUPPLY SEPARATION BETWEEN WOOD, COMPOSITE WOOD AND ANY OTHER WOOD MATERIAL PER SPECIFICATIONS.
4. SUPPLY AT LEAST 6" OF SPACE BETWEEN BOTTOMS OF WINDOWS AND ROOFS.
5. GRADE CONDITIONS MAY VARY ON SITE.
6. PROVIDE ROOF AND SOFFIT VENTS PER IRC CODE REGULATIONS.
7. ALL FURNACE FLUES, PLUMBING VENTS, FIREPLACE VENTS AND OTHER PENETRATIONS THROUGH ROOF OR WALLS TO EXTEND THROUGH REAR OF HOME WHENEVER POSSIBLE.
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13. ALL BEAMS HOLDING UP PORCH ROOFS ARE TO BE DROPPED UNLESS OTHERWISE NOTED.

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PAGE L A2 D

PAGE DESCRIPTION:
LEFT & RIGHT ELEVATIONS
SCALED PRINT @ 24X36

NOTE:
ICE AND WATER BARRIER @ BOTTOM 6' OF ALL ROOF LINES, EXTEND BARRIER MIN. 3' ON EACH SIDE OF VALLEY, COVER ENTIRE FACE OF ROOF SADDLES. VERIFY ADDITIONAL LOCATIONS OF ICE AND WATER BARRIER AS NEEDED IN FIELD.

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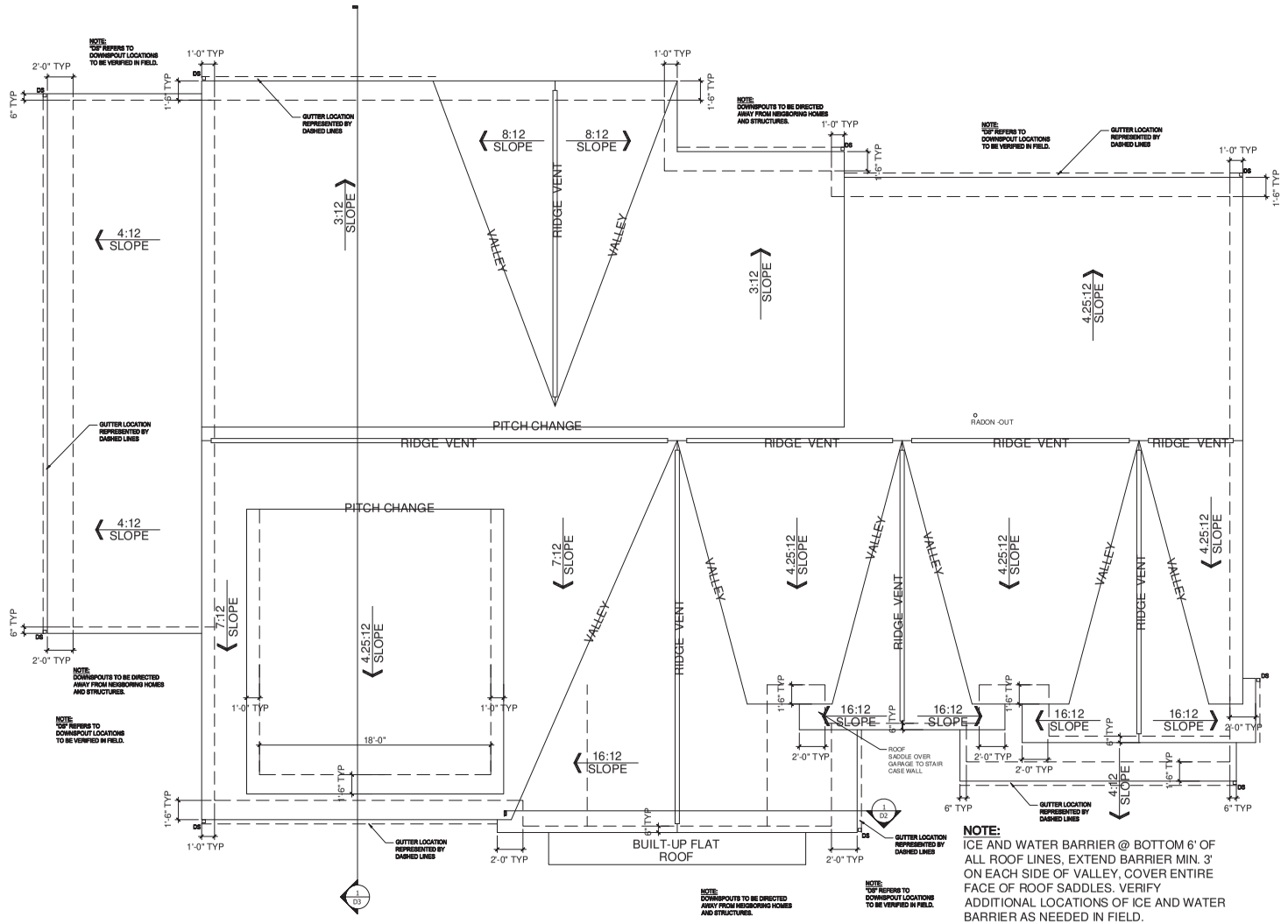

1 ROOF PLAN
SCALE 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

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LOCATION:
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CURRENT DATE: 4-25-23

PAGE A3

PAGE DESCRIPTION: ROOF PLAN

SCALED PRINT @ 24X36

STRUCTURAL NOTES:

1. ALL HEADERS TO BE SUPPORTED BY A MINIMUM OF (1) TRIMMER. (UNLESS NOTED OTHERWISE)
2. ALL HEADERS TO HAVE AT LEAST (1) KING STUD (UNLESS NOTED).
3. ALL STUD CALLOUTS @ SIDES OF WINDOWS/DOORS ARE TRIMMERS, MINIMUM (1) KING STUDS @ SAID LOCATIONS TO BE INCLUDED AS WELL.
4. BLOCKING @ ROOF & FLOOR PLAN PER TRUSS MANUFACTURER.
5. POINT LOADS TO BE CARRIED THROUGH FLOOR AREAS AND DOWN TO FOUNDATION FOR SUPPORT.
6. ALL HANGERS & CONNECTORS PER TRUSS MANUFACTURER, SUPPLIERS & CONTRACTOR.
7. ALL EXTERIOR SHEATHING TO BE 7/16" OSB OR PLYWOOD SHEATHING & NAILED PER CODE (MAY BE REFERRED TO AS 1/2" NOMINAL THICKNESS).
8. ROOF DECKING TO BE $\frac{1}{2}$" NOMINAL (OR $\frac{15}{32}$") OSB DECKING W/ CLIPS, NAILED TO ROOF FRAMING W/ MIN. 8d COMMON NAILS, 6" O.C. @ EDGES/12"O.C. @ FIELD.
9. FLOOR DECKING TO BE $\frac{3}{4}$" PLYWOOD DECKING, NAILED OR SCREWED TO FLOOR SYSTEM PER CODE W/ ADHESIVE PER SPEC. (OR) MIN. 6d COMMON NAILS 6" O.C. @ EDGES/12" O.C. @ FIELD (CODE MINIMUM).
10. REFER TO WALL BRACING PLANS FOR ADDITIONAL FRAMING INFORMATION.

GENERAL FOUNDATION NOTES:

1. FOUNDATIONS TO BE POURED PER SITE SOIL CONDITION.
2. ALL REINFORCING IS TO BE INSTALLED PER IRC REGULATED STRUCTURAL DESIGN BY CONCRETE TRADES.
3. PROVIDE $\frac{1}{2}$" ANCHOR BOLTS EMBEDDED 8" MIN., SPACED PER CODE AND 12" MAX FROM EACH END OF SILL PLATE, MIN 2 PER SILL.
4. PROVIDE CONTROL JOINTS PER PLAN, JOIST TO CONSIST OF HIDDEN ZIP STRIP EMBEDDED INTO THE SLABS.
5. ALL ANGLED WALLS ARE TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
6. SLOPE CONCRETE TO FLOOR DRAINS WITHIN 5' OF DRAINS.
7. ALL WOOD MATERIAL CONTACTING DIRECTLY TO CONCRETE MUST BE TREATED OR DESIGNED TO CONTACT CONCRETE.
8. STEP FOOTINGS PER PLAN SPECIFICATIONS.
9. PROVIDE DRAIN TILE AROUND PERIMETER AS SHOWN. LATERAL SOIL PRESSURE ASSUMED TO BE 30 PSF/FT.

WINDOW & DOOR SIZE NOTES

-SH3050 = SINGLE HUNG 30" BY 50"
-FX2646 = FIXED 26" BY 4'6"
-CAS3050 = CASEMENT 30" BY 50"
-2868 @ DOOR =2'8" WIDE BY 6'8" TALL
-2880 @ DOOR =2'8" WIDE BY 8'0" TALL

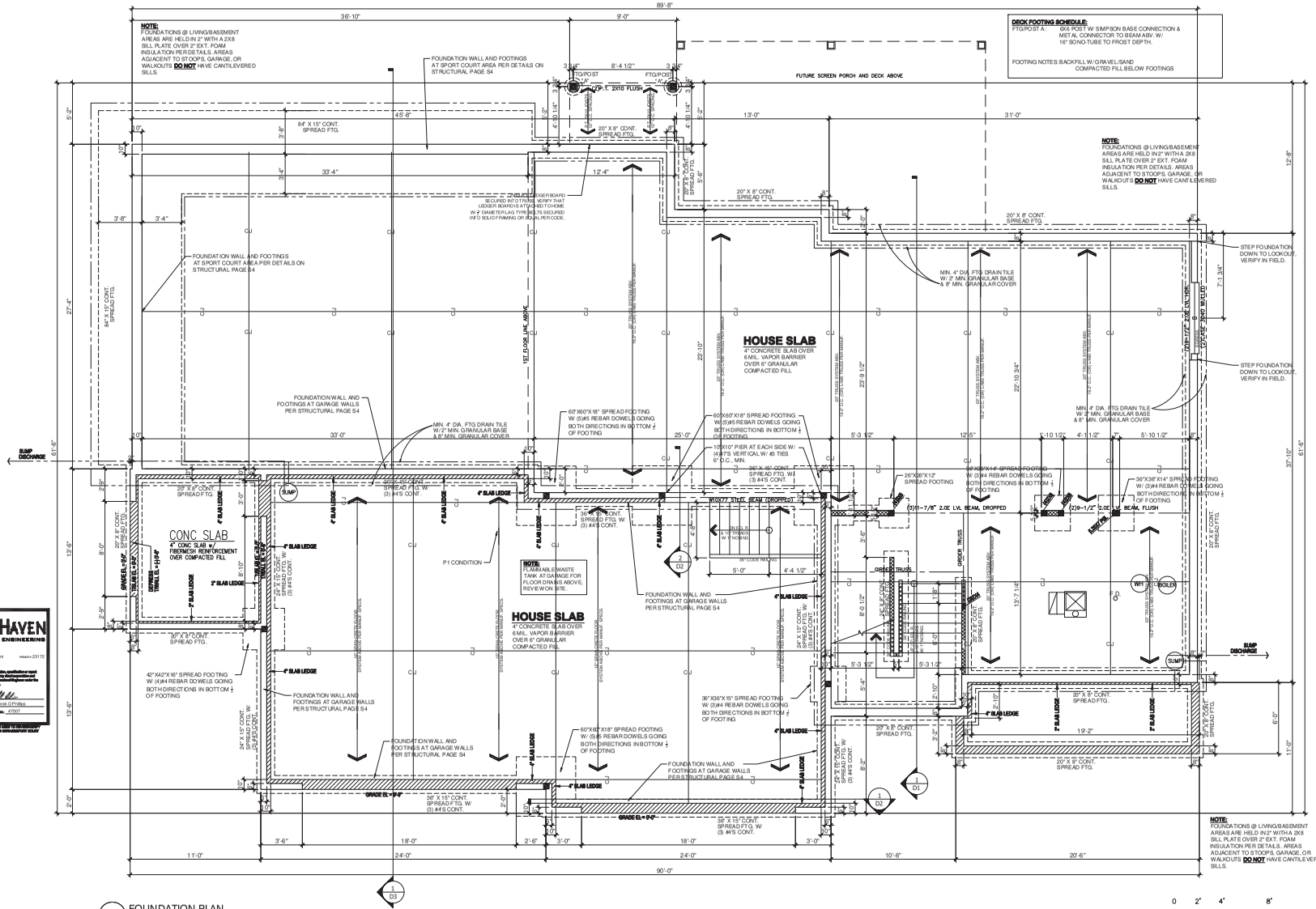
SD — 110V, INTERCONNECTED SMOKE DETECTOR

SD CO — 110V, INTERCONNECTED SMOKE DETECTOR / CARBON MONOXIDE DETECTOR COMBO

EXHAUST FAN

FLOOR PLAN NOTES:

1. FOR EASE OF UNDERSTANDING GRADE IS CONSIDERED 0'0" ON THIS FOUNDATION PLAN
2. ALL STAIRWAYS (INTERIOR AND EXTERIOR) ARE TO BE ILLUMINATED AT EACH LANDING PER CODE
3. SUPPLY CONTINUOUS HANDRAIL PER CODE AT ALL STAIR LOCATIONS, CODE HANDRAIL IS TO CONTINUE TO LANDINGS/ TOP & BOTTOM OF STAIRS. CONTRACTOR & INSTALLER TO VERIFY IF ADDITIONAL GRASPABLE HANDRAIL IS INSTALLED OR IF DECORATIVE HANDRAIL TO CONTINUE.
4. $\frac{1}{2}$" GYPSUM BOARD TO BE APPLIED TO UNDERSIDE OF STAIRS PER CODE.
5. INDICATES INTERIOR BEARING WALL, 16" O.C. STUDS
6. **AT BEDROOM EGRESS WINDOW WELLS:** PERMANENTLY ATTACHED LADDER PER CODE & MINIMUM 3'X3' EGRESS AREA BUILT PER IRC
7. **AT ALL EGRESS WINDOW WELLS:** FILL EGRESS WELL W/ GRAVEL BACKFILL & INSTALL DRAIN TILE CONNECTION TO DRAIN EGRESS PROPERLY.
8. INSTALL DRAFT STOPPING WITHIN FLOOR SYSTEM PER IRC CODE SECTION 302.12, MIN. $\frac{1}{2}$" GYPSUM BOARD (OR) $\frac{15}{32}$" STRUCTURAL BOARD ADEQUATELY SUPPORTED BY 2X4 MIN. MATERIAL, PARALLEL WITH FLOOR FRAMING, SEPARATING AREAS WITH MAXIMUM SPACE OF 1000 SQ.FT.-SEPARATE INTO EQUAL SPACES.



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SAFE HAVEN STRUCTURAL ENGINEERING
www.SafeHavenSE.com reason 23172
I HEREBY CERTIFY that this plan, specification or report was prepared by me (or under my direct supervision) and that I am a Licensed Professional Engineer under the laws of the State of Minnesota.
SIGNATURE: Derek Griffiths
TYPE OR PRINTED NAME: Derek Griffiths
DATE: 4-11-2023 REG. NO.: 47507
NOTE: FOOTINGS MUST EXTEND TO UNDISTURBED SOIL BELOW FROSTLINE AND NON-EXPANSIVE SOIL OR COMPACTED FILL.

REVISION:	REV. DATE:
ISLAND/FRIDGE CHANGES, REMOVED BACK WINDOW	4-14-23
STAIRCASE GABLE HEIGHT ADJUSTED	4-14-23
REVISED ITEMS PER OWNER/REVISED WINDOW SIZES	4-20-23
REVISED TO ADD LOOKOUT CONDITION ON BACK CORNER	4-25-23

DRAWING TITLE:
YLINEN RESIDENCE
LOCATION:
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PAGE L A4 D

PAGE DESCRIPTION: FOUNDATION PLAN

SCALED PRINT @ 24X36

STRUCTURAL NOTES:

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10. REFER TO WALL BRACING PLANS FOR ADDITIONAL FRAMING INFORMATION.

GENERAL FRAMING NOTES:

1. ALL NON-BEARING FRAMING IS TO BE 16" O.C. UNLESS OTHERWISE NOTED.
2. ALL WALLS TO HAVE A DOUBLE TOP PLATE UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUDS WITH 7/16" OSB SHEATHING, UNLESS NOTED OTHERWISE.
4. ALL INTERIOR WALLS ARE TO BE 2X4 WOOD STUDS UNLESS NOTED OTHERWISE.
5. ALL COLUMN SIZES ARE TO BE CONTINUED THROUGH FLOOR TRUSS SPACES WHEN SPANNING MORE THAN 1 FLOOR.
6. ALL WOOD MATERIALS ARE TO BE PROTECTED PER CODE & MANUF. SPECIFICATIONS WHILE BEING STORED ON SITE.

WINDOW & DOOR SIZE NOTES (EXAMPLES)

-SH3050 =SINGLE HUNG 3'0" BY 5'0"
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-CASE3050 = CASEMENT 3'0" BY 5'0"
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(SD) 110V, INTERCONNECTED SMOKE DETECTOR

(SD/CO) 110V, INTERCONNECTED SMOKE DETECTOR / CARBON MONOXIDE DETECTOR COMBO

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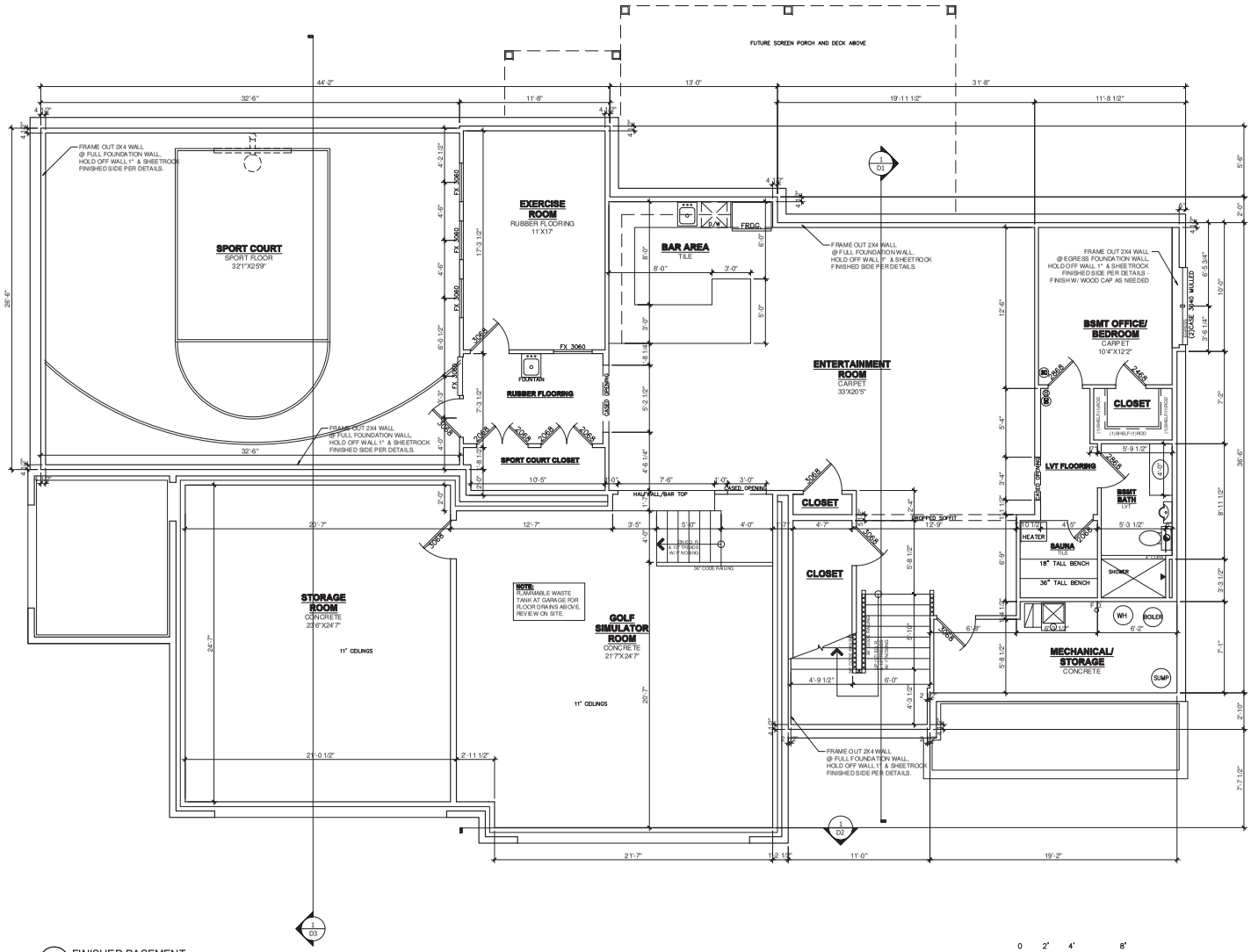
7. INSTALL DRAFT STOPPING WITHIN FLOOR SYSTEM PER IRC CODE SECTION 302.12, MIN. $\frac{1}{2}$" GYPSUM BOARD (OR $\frac{3}{8}$" STRUCTURAL BOARD ADEQUATELY SUPPORTED BY 2X4 MIN. MATERIAL, PARALLEL WITH FLOOR FRAMING, SEPARATING AREAS WITH MAXIMUM SPACE OF 1000 SQ.FT.- SEPARATE INTO EQUAL SPACES.



1 FINISHED BASEMENT
SCALE: 1/4" = 1'-0"
3683 TOTAL SQUARE FEET / 134 UNFINISHED SQUARE FEET

0 2' 4' 8'
SCALE: 1/4" = 1'-0"

REVISION:	REV. DATE:
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PAGE A5

PAGE DESCRIPTION: FINISHED BASEMENT

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STRUCTURAL NOTES:

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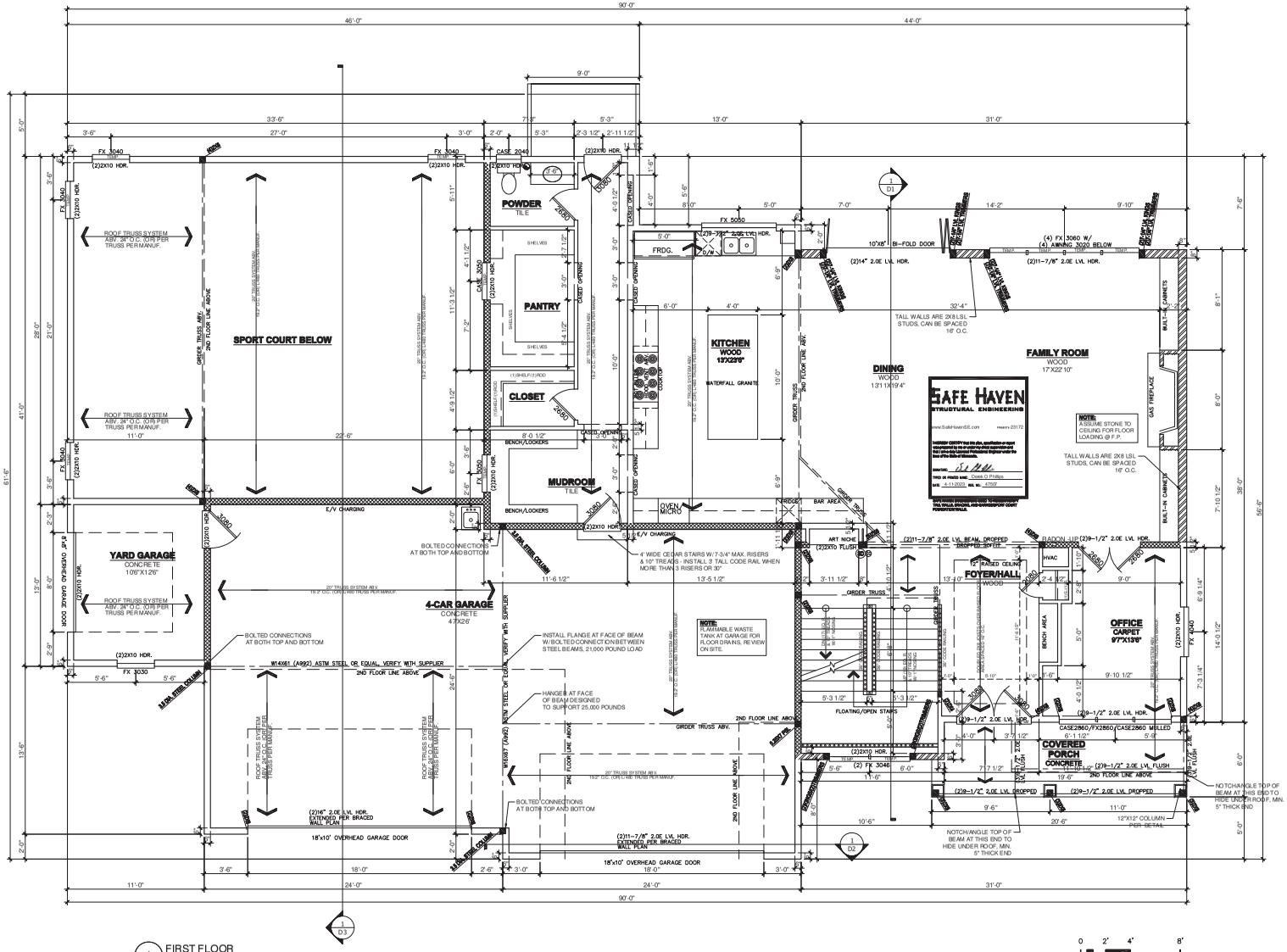
6. INDICATES EXTERIOR WALL STUDS SPACED AT 12" O.C. TIMBERSTRAND MATERIAL OR BETTER (2-PLY TIMBER-STRAND KING STUDS @ EACH SIDE OF OPENINGS IN WALL)
7. INSTALL DRAFT STOPPING WITHIN FLOOR SYSTEM PER IRC CODE SECTION 302.12, MIN. $\frac{1}{2}$" GYPSUM BOARD (OR) $\frac{3}{8}$" STRUCTURAL BOARD ADEQUATELY SUPPORTED BY 2X4 MIN. MATERIAL, PARALLEL WITH FLOOR FRAMING, SEPARATING AREAS WITH MAXIMUM SPACE OF 1000 SQ. FT.- SEPARATE INTO EQUAL SPACES.



1 FIRST FLOOR
SCALE: 1/4" = 1'-0"

1915 FINISHED SQUARE FEET / 1414 GARAGE SQUARE FEET

SCALE: 1/4" = 1'-0"

REVISION:	REV. DATE:
ISLAND/FRIDGE CHANGES, REMOVED BACK WINDOW	4-14-23
STAIRCASE GABLE HEIGHT ADJUSTED	4-14-23
REVISED ITEMS PER OWNER/REVISED WINDOW SIZES	4-20-23
REVISED TO ADD LOOKOUT CONDITION ON BACK CORNER	4-25-23

DRAWING TITLE:
YLINEN RESIDENCE

LOCATION:
114 SALEM CHURCH ROAD, SUNFISH LAKE, MN

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PAGE L A6 D

PAGE DESCRIPTION: FIRST FLOOR PLAN

SCALED PRINT @ 24X36

STRUCTURAL NOTES:

1. ALL HEADERS TO BE SUPPORTED BY A MINIMUM OF (1) TRIMMER. (UNLESS NOTED OTHERWISE)
2. ALL HEADERS TO HAVE AT LEAST (1) KING STUD (UNLESS NOTED).
3. ALL STUD CALLOUTS @ SIDES OF WINDOWS/DOORS ARE TRIMMERS, MINIMUM (1) KING STUDS @ SAID LOCATIONS TO BE INCLUDED AS WELL.
4. BLOCKING @ ROOF & FLOOR PLAN PER TRUSS MANUFACTURER.
5. POINT LOADS TO BE CARRIED THROUGH FLOOR AREAS AND DOWN TO FOUNDATION FOR SUPPORT.
6. ALL HANGERS & CONNECTORS PER TRUSS MANUFACTURER, SUPPLIERS & CONTRACTOR.
7. ALL EXTERIOR SHEATHING TO BE 7/16" OSB OR PLYWOOD SHEATHING & NAILED PER CODE (MAY BE REFERRED TO AS 1/2" NOMINAL THICKNESS).
8. ROOF DECKING TO BE $\frac{1}{2}$" NOMINAL (OR $\frac{15}{32}$") OSB DECKING W/ CLIPS, NAILED TO ROOF FRAMING W/ MIN. 8d COMMON NAILS, 6" O.C. @ EDGES/12"O.C. @ FIELD.
9. FLOOR DECKING TO BE $\frac{3}{4}$" PLYWOOD DECKING, NAILED OR SCREWED TO FLOOR SYSTEM PER CODE W/ ADHESIVE PER SPEC. (OR) MIN. 8d COMMON NAILS 6" O.C. @ EDGES/12" O.C. @ FIELD (CODE MINIMUM).
10. REFER TO WALL BRACING PLANS FOR ADDITIONAL FRAMING INFORMATION.

GENERAL FRAMING NOTES:

1. ALL NON-BEARING FRAMING IS TO BE 16" O.C. UNLESS OTHERWISE NOTED.
2. ALL WALLS TO HAVE A DOUBLE TOP PLATE UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUDS WITH 7/16" OSB SHEATHING, UNLESS NOTED OTHERWISE.
4. ALL INTERIOR WALLS ARE TO BE 2X4 WOOD STUDS UNLESS NOTED OTHERWISE.
5. ALL COLUMN SIZES ARE TO BE CONTINUED THROUGH FLOOR TRUSS SPACES WHEN SPANNING MORE THAN 1 FLOOR.
6. ALL WOOD MATERIALS ARE TO BE PROTECTED PER CODE & MANUF. SPECIFICATIONS WHILE BEING STORED ON SITE.

WINDOW & DOOR SIZE NOTES (EXAMPLES)

-SH3050 =SINGLE HUNG 30" BY 50"
-FX2646 = FIXED 2'6" BY 4'6"
-CASE3050 = CASEMENT 3'0" BY 50"
-2868 @ DOOR =2'8" WIDE BY 6'8" TALL
-2880 @ DOOR =2'8" WIDE BY 8'0" TALL

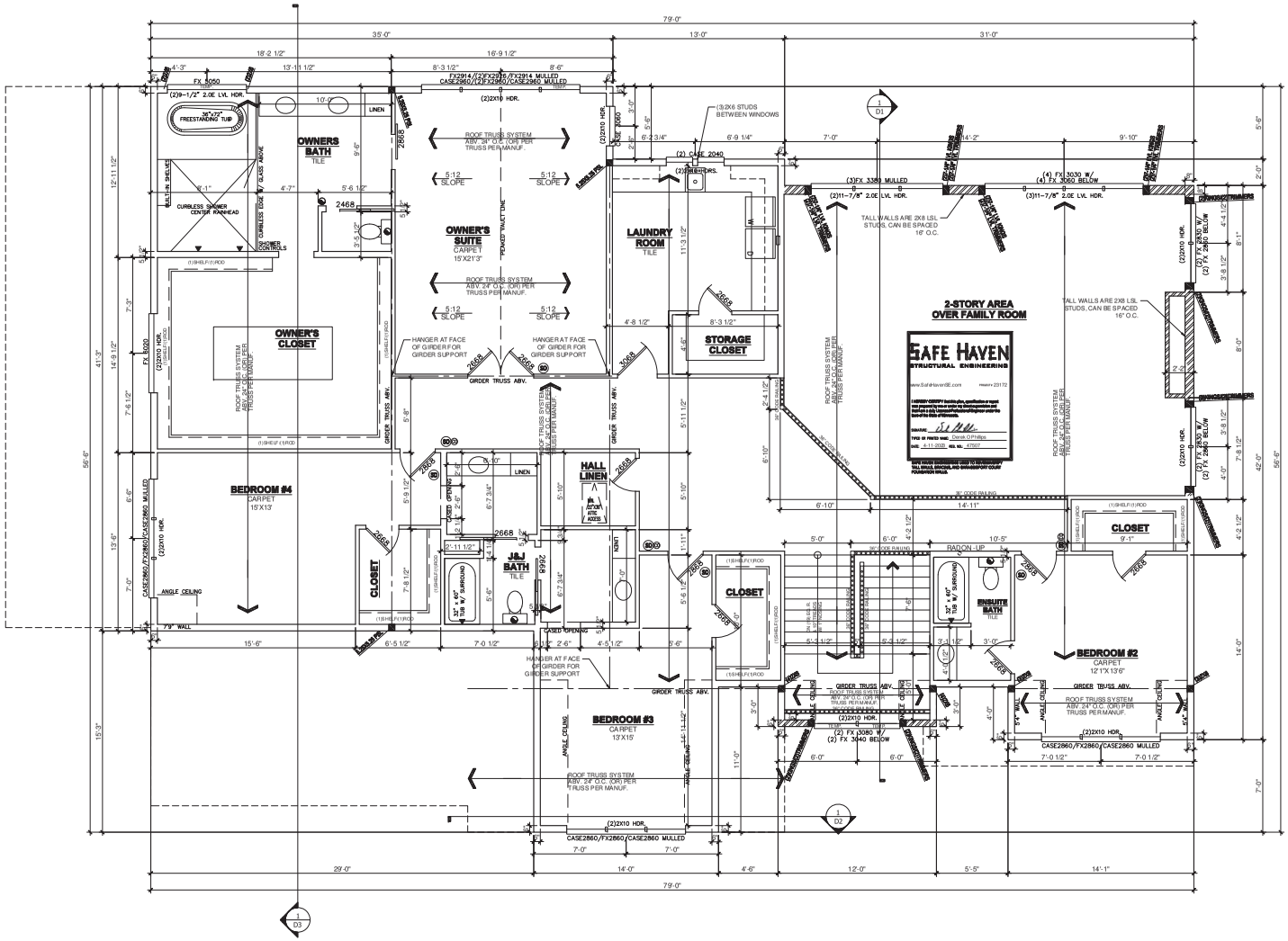
SD — 110V, INTERCONNECTED SMOKE DETECTOR

SD CO — 110V, INTERCONNECTED SMOKE DETECTOR / CARBON MONOXIDE DETECTOR COMBO

EXHAUST FAN

FLOOR PLAN NOTES:

1. FOR EASE OF UNDERSTANDING GRADE IS CONSIDERED 0'0" ON THIS FOUNDATION PLAN
2. ALL STAIRWAYS (INTERIOR AND EXTERIOR) ARE TO BE ILLUMINATED AT EACH LANDING PER CODE
3. SUPPLY CONTINUOUS HANDRAIL PER CODE AT ALL STAIR LOCATIONS, CODE HANDRAIL IS TO CONTINUE TO LANDINGS/ TOP & BOTTOM OF STAIRS. CONTRACTOR & INSTALLER TO VERIFY IF ADDITIONAL GRASPABLE HANDRAIL IS INSTALLED OR IF DECORATIVE HANDRAIL TO CONTINUE.
4. $\frac{1}{2}$" GYPSUM BOARD TO BE APPLIED TO UNDERSIDE OF STAIRS PER CODE.
5. INDICATES INTERIOR BEARING WALL, 16" O.C. STUDS
6. INDICATES EXTERIOR WALL STUDS SPACED AT 12" O.C. TIMBERSTRAND MATERIAL OR BETTER (2-PLY TIMBER-STRAND KING STUDS @ EACH SIDE OF OPENINGS IN WALL)
7. INSTALL DRAFT STOPPING WITHIN FLOOR SYSTEM PER IRC CODE SECTION 302.12, MIN. $\frac{1}{2}$" GYPSUM BOARD (OR) $\frac{3}{8}$" STRUCTURAL BOARD ADEQUATELY SUPPORTED BY 2X4 MIN. MATERIAL, PARALLEL WITH FLOOR FRAMING, SEPARATING AREAS WITH MAXIMUM SPACE OF 1000 SQ. FT - SEPARATE INTO EQUAL SPACES.



1 SECOND FLOOR
SCALE: 1/4" = 1'-0"
2562 FINISHED SQUARE FEET

SCALE: 1/4" = 1'-0"

REVISION:	REV. DATE:
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PAGE DESCRIPTION: SECOND FLOOR PLAN

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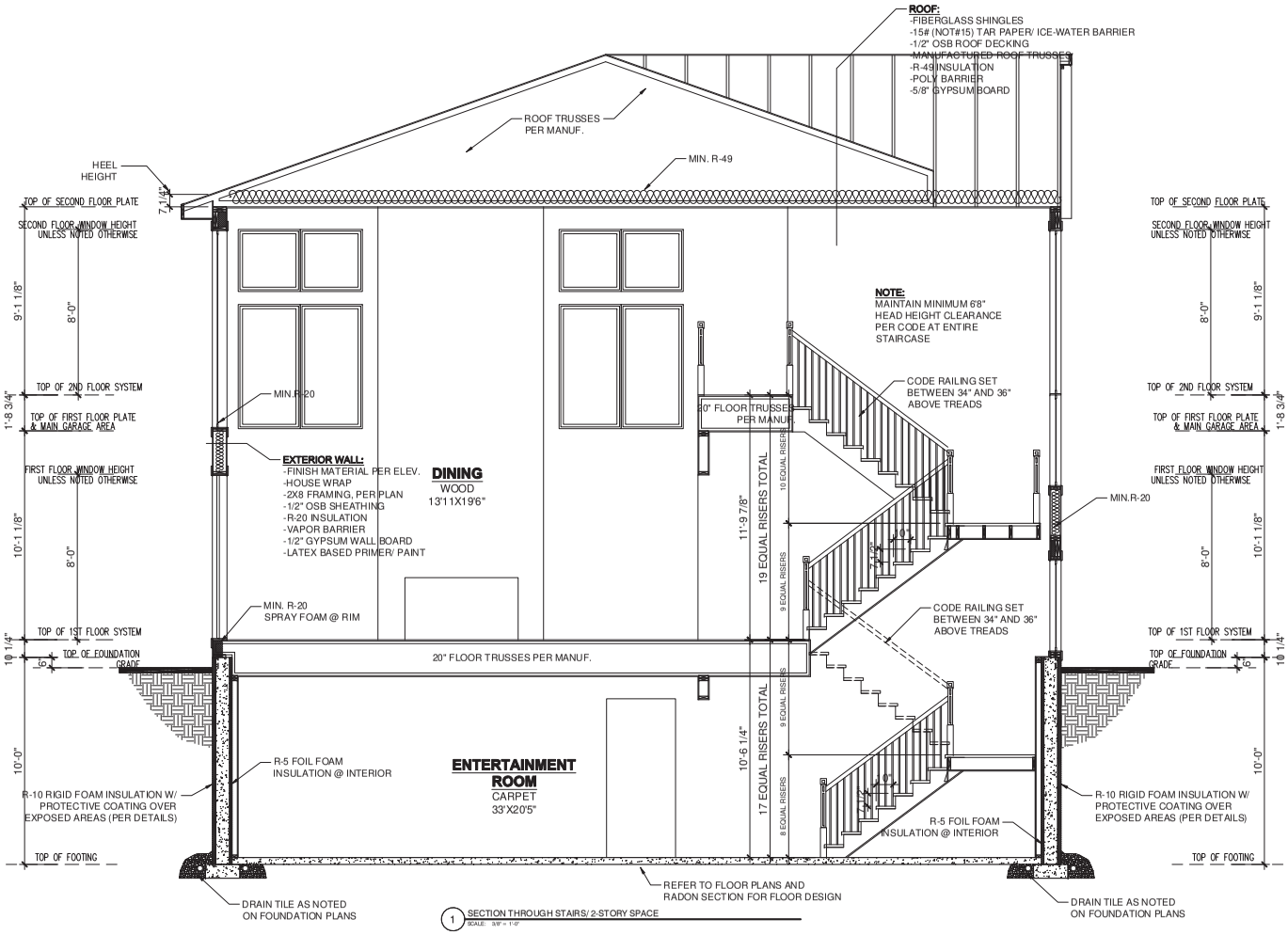

1 SECTION THROUGH STAIRS/ 2-STORY SPACE
SCALE: 3/8" = 1'-0"

REVISION:	REV. DATE:
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PAGE DESCRIPTION: BUILDING SECTIONS

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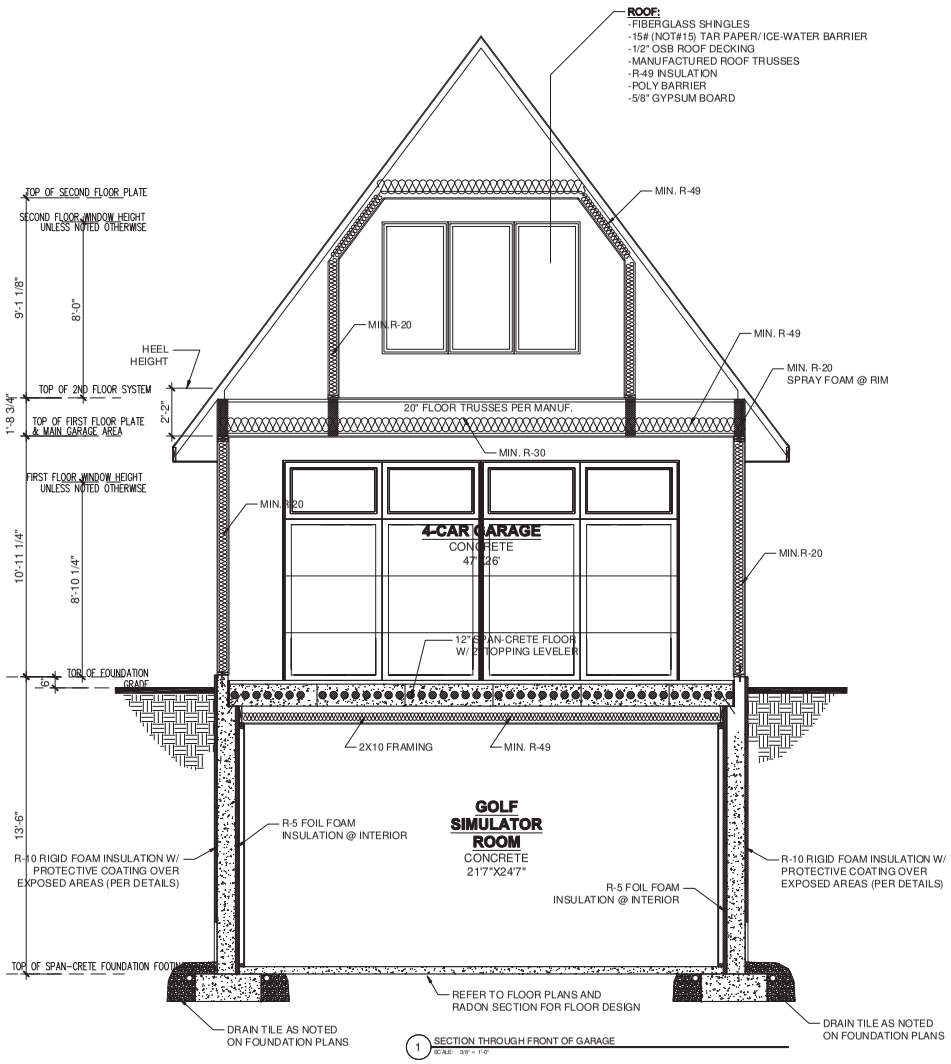
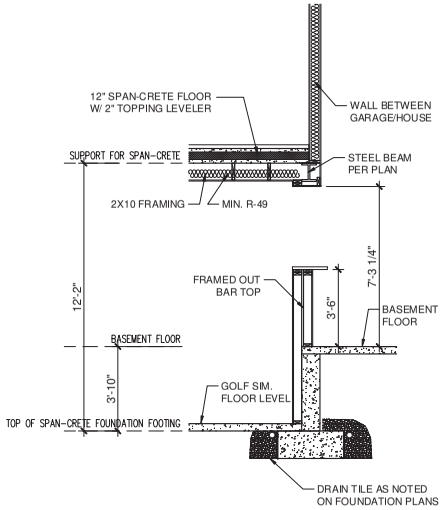


1 SECTION THROUGH FRONT OF GARAGE
SCALE 3/8" = 1'-0"



2 SECTION THROUGH OPENING AT GARAGE
SCALE 3/8" = 1'-0"

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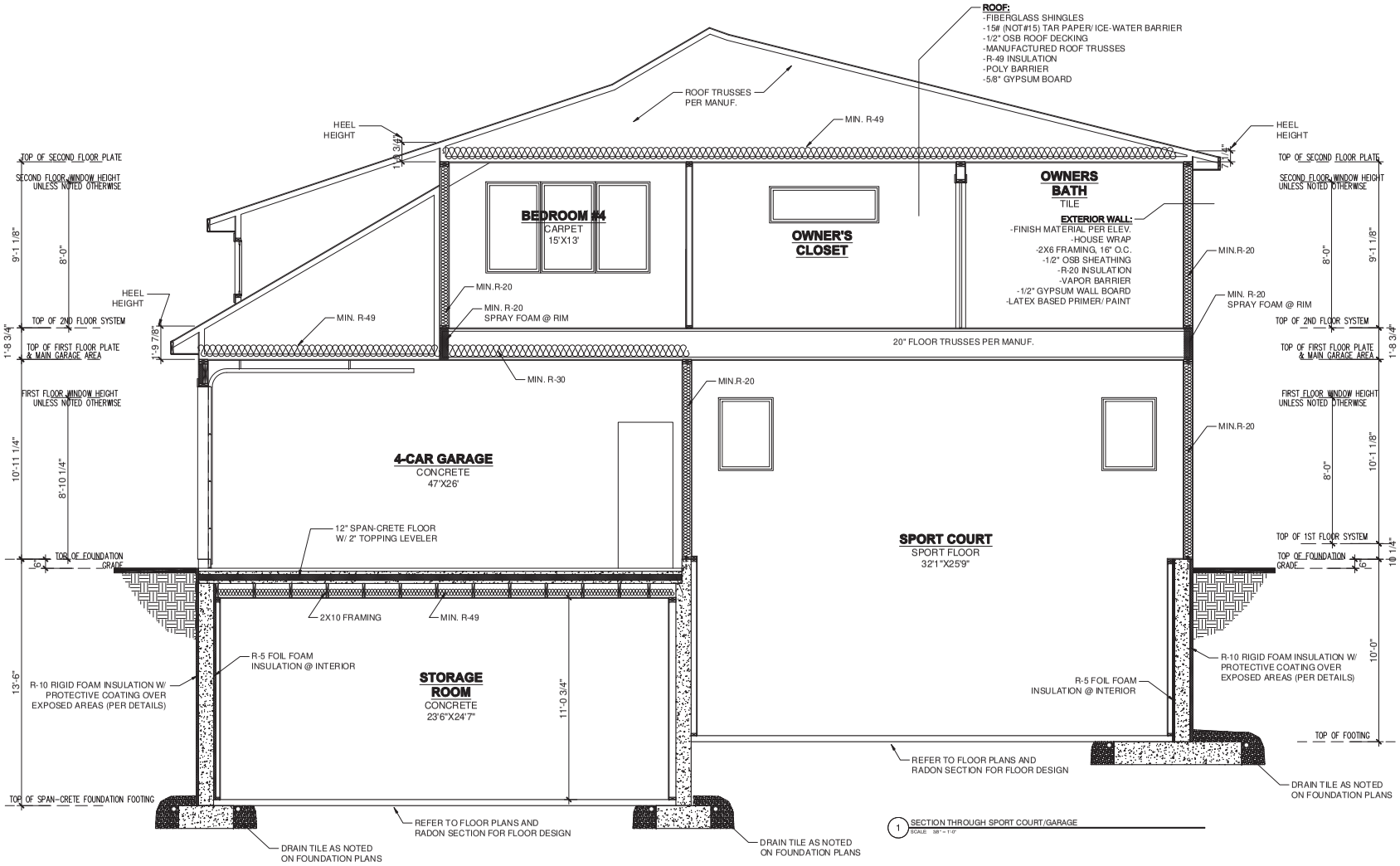

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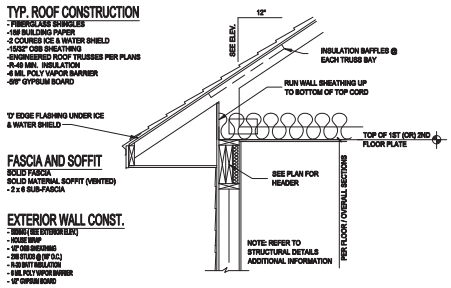
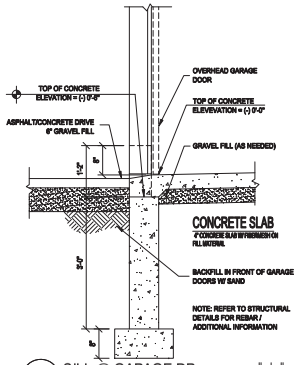
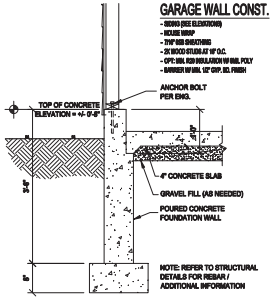


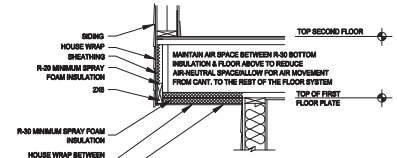
1 TYP. WALL SECTION @ EAVE
3/4" = 1'-0"



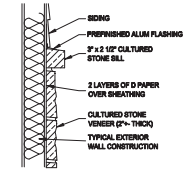
4 SILL @ GARAGE DR.
3/4" = 1'-0"



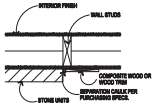
6 SIDE GARAGE WALL DETAIL
3/4" = 1'-0"



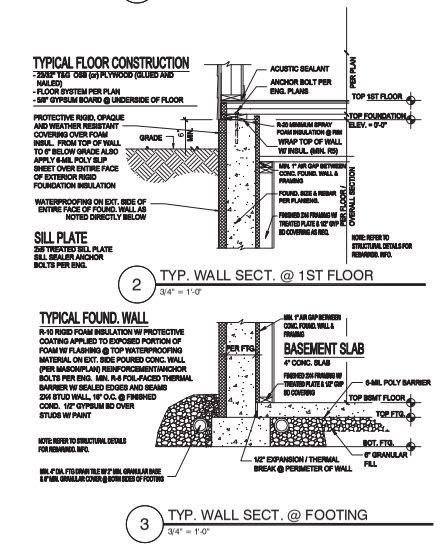
7 FLOOR CANTILEVER DETAIL
3/4" = 1'-0"



9 STONE VENEER
3/4" = 1'-0"

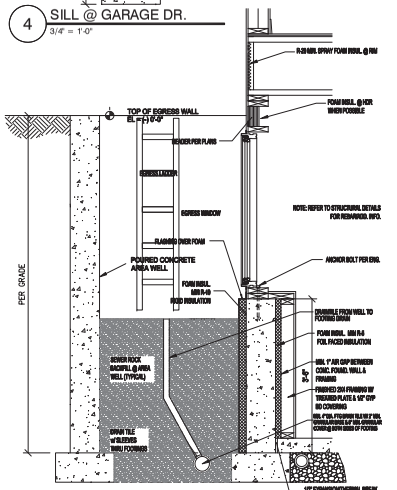


10 STONE TO MASONRY CAULK DETAIL
3/4" = 1'-0"

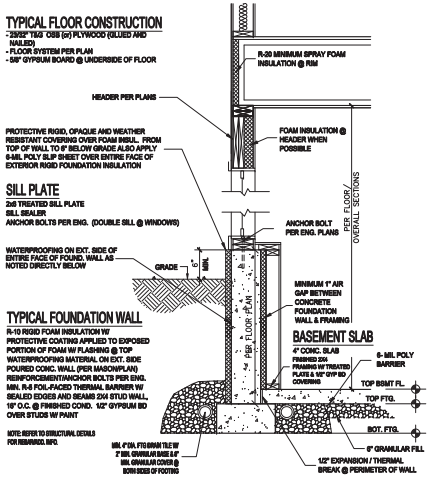


2 TYP. WALL SECT. @ 1ST FLOOR
3/4" = 1'-0"

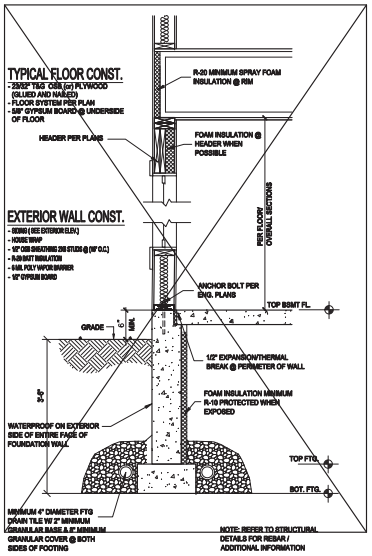
3 TYP. WALL SECT. @ FOOTING
3/4" = 1'-0"



5 EGRESS WELL SECTION
3/4" = 1'-0"



8 LOOKOUT WALL SECTION
3/4" = 1'-0"



11 WALKOUT WALL SECTION
3/4" = 1'-0"

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PAGE DESCRIPTION: DETAILS

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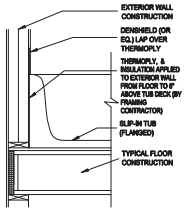
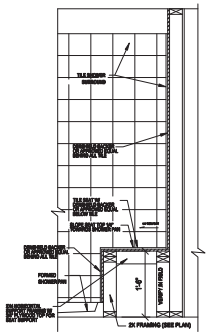
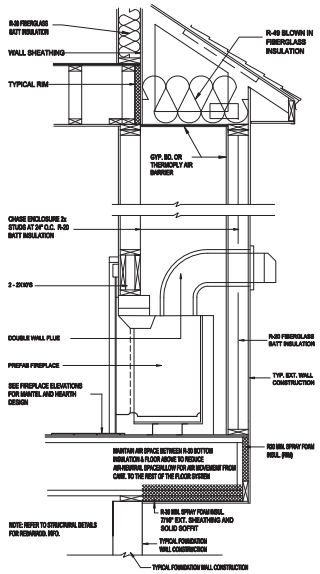


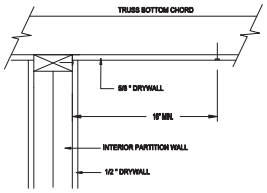
1 DRAFTSTOP @ TUB
3/4" = 1'-0"



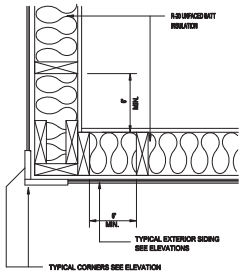
2 TUB/SHOWER 1/2 WALL
3/4" = 1'-0"



3 FIREPLACE CANTILEVER
3/4" = 1'-0"

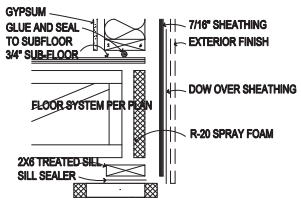


4 ROOF TRUSS CONNECTION DETAIL
NONE

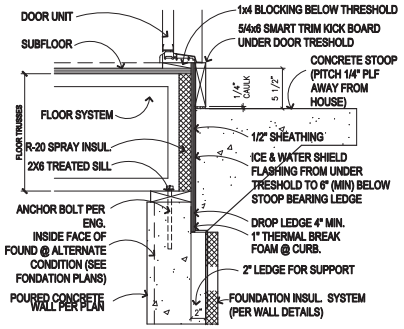


5 OUTSIDE CORNER DETAIL
NONE

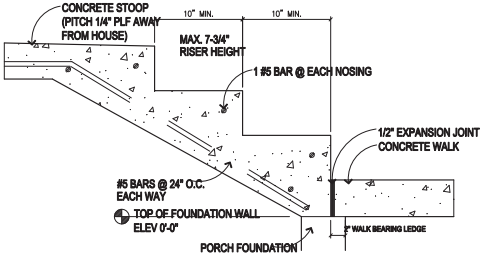
AND SEAL BEHIND ALL WALL, SOFFIT, TIES, AND FIREPLACES WHEN THEY MEET AN EXTERIOR WALL -TAPE AND SEAL THE INTERIOR VAPOR BARRIER -HOUSEWRAP @ RIMS, CORNERS, AND CANTILEVERS SEAMS AND EXTERIOR OPENINGS -LESCO ELECTRICAL BOXES TO BE TAPED AND FOAMED -WINDOW AND DOOR ROUGH OPENINGS TO BE SEALED WITH FOAM -DUCT WORK TO BE TAPED (SUPPLIES AND RETURNS) -MECHANICAL VENTILATION SYSTEM -DIRECT VENT FURNACE AND POWER VENTED WATER HEATER -BACK CAULK ALL WINDOW FLANGES AND THEN TAPE A STRIP OF TYVEC OVER THE TOP -ALL VENDORS MUST SEAL THEIR EXTERIOR PENETRATIONS (INCLUDING PLUMBING, HEATING, AND ELECTRICAL) -CAULK SEAL ALL INTERIOR AND EXTERIOR VERTICAL JOINTS WHERE WALL PANELS MEET OR WALL PANELS MEET THE FND. WALL



6 ENERGY CODE RIM DETAIL
1-1/2" = 1'-0"



7 STOOP RIM DETAIL
1-1/2" = 1'-0"



8 STOOP STEP DETAIL
1-1/2" = 1'-0"

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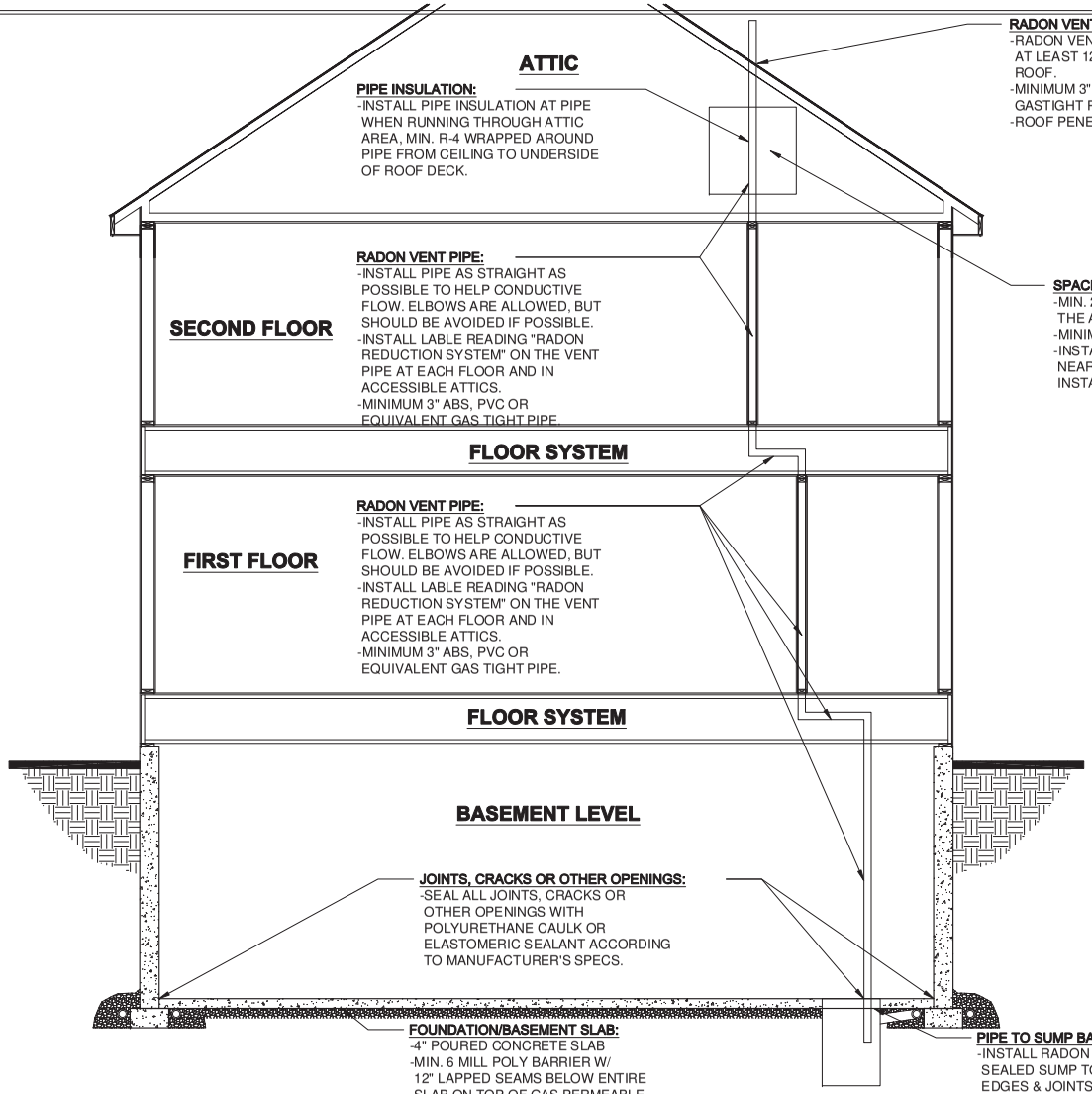

RADON VENT PIPE TERMINATION POINT:
-RADON VENT PIPE TO BE TERMINATED AT LEAST 12" ABOVE SURFACE OF ROOF.
-MINIMUM 3" ABS, PVC OR EQUIVALENT GASTIGHT PIPE.
-ROOF PENETRATION SEALING AT ROOF.

PIPE INSULATION:
-INSTALL PIPE INSULATION AT PIPE WHEN RUNNING THROUGH ATTIC AREA, MIN. R-4 WRAPPED AROUND PIPE FROM CEILING TO UNDERSIDE OF ROOF DECK.

RADON VENT PIPE:
-INSTALL PIPE AS STRAIGHT AS POSSIBLE TO HELP CONDUCTIVE FLOW. ELBOWS ARE ALLOWED, BUT SHOULD BE AVOIDED IF POSSIBLE.
-INSTALL LABLE READING "RADON REDUCTION SYSTEM" ON THE VENT PIPE AT EACH FLOOR AND IN ACCESSIBLE ATTICS.
-MINIMUM 3" ABS, PVC OR EQUIVALENT GAS TIGHT PIPE.

SPACE PROVIDED FOR FUTURE FAN:
-MIN. 24" DIAMETER CENTERED ON THE AXIS OF THE VENT STACK.
-MINIMUM VERTICAL DISTANCE OF 5'
-INSTALL LIVE OUTLET IN ATTIC NEAR WHERE FUTURE FAN MAY BE INSTALLED.

RADON VENT PIPE:
-INSTALL PIPE AS STRAIGHT AS POSSIBLE TO HELP CONDUCTIVE FLOW. ELBOWS ARE ALLOWED, BUT SHOULD BE AVOIDED IF POSSIBLE.
-INSTALL LABLE READING "RADON REDUCTION SYSTEM" ON THE VENT PIPE AT EACH FLOOR AND IN ACCESSIBLE ATTICS.
-MINIMUM 3" ABS, PVC OR EQUIVALENT GAS TIGHT PIPE.

JOINTS, CRACKS OR OTHER OPENINGS:
-SEAL ALL JOINTS, CRACKS OR OTHER OPENINGS WITH POLYURETHANE CAULK OR ELASTOMERIC SEALANT ACCORDING TO MANUFACTURER'S SPECS.

FOUNDATION/BASEMENT SLAB:
-4" POURED CONCRETE SLAB
-MIN. 6 MILL POLY BARRIER W/ 12" LAPPED SEAMS BELOW ENTIRE SLAB ON TOP OF GAS PERMEABLE LAYER
-MIN. 4" GAS PERMEABLE LAYER BELOW BARRIER (CLEAN, COURSE AGGREGATE ABLE TO PASS THROUGH A 2" SIEVE & BE RETAINED BY A 1/4" SIEVE.

PIPE TO SUMP BASKET CONNECTION:
-INSTALL RADON VENT PIPE INTO SEALED SUMP TOP, SEAL ALL EDGES & JOINTS.
-SEALED SUMP BASKET CONNECTED TO PERIMETER DRAIN-TILE THAT RUNS AROUND ENTIRE BASEMENT AREA AND ALLOWING PERMEABLE LAYER TO VENT THROUGH DRAIN-TILE.

1 PASSIVE RADON SYSTEM DETAILS (REFER TO PLANS FOR LOCATIONS)
1/2" = 1'-0"

0 1' 2' 4'
SCALE: 1/2" = 1'-0"

REVISION:	REV. DATE:
ISLAND/FRIDGE CHANGES, REMOVED BACK WINDOW	4-14-23
STAIRCASE GABLE HEIGHT ADJUSTED	4-14-23
REVISED ITEMS PER OWNER/REVISED WINDOW SIZES	4-20-23
REVISED TO ADD LOOKOUT CONDITION ON BACK CORNER	4-25-23

DRAWING TITLE:
YLINEN RESIDENCE
LOCATION:
114 SALEM CHURCH ROAD, SUNFISH LAKE, MN

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PAGE L R1 D

PAGE DESCRIPTION: RADON DETAILS

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BRACED WALL NOTES:

1. ALL WALLS DESIGNED PER METHOD CS-WSP OF THE 2020 MN CODE.
2. ALL EXTERIOR WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH A MINIMUM 3/8" THICK WOOD PANEL.
3. CONNECTION OF WOOD PANEL TO STUDS SHALL BE **MIN.** 8d COMMON NAILS, 6" O.C. AT EDGES & 12"O.C. AT FIELD OF WOOD PANEL.
4. STRUCTURAL PANELS (BRACED WALLS) SHALL BE LOCATED AT EACH END & AT LEAST EVERY20' BETWEEN PANELS.
5. EXTERIOR BRACED WALL LINES SHALL HAVE A BRACED WALL PANEL AT EACH END OF THE BRACED WALL LINE, EXCEPT FOR:
   -BRACED WALL PANELS ARE PERMITTED TO BEGIN NO MORE THAN 10' FROM EACH END OF THE BRACED WALL LINE PROVIDED THAT A 24" PANEL MATCHING TABLE R602.10.7 IS APPLIED.
   -THE END OF EACH BRACED WALL PANEL CLOSEST TO THE CORNER SHALL HAVE A TIE-DOWN DEVICE FASTENED TO THE STUD AT THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION OR FRAMING BELOW. THE TIE- DOWN DEVICE SHALL BE CAPABLE OF PROVIDING AN UPLIFT ALLOWABLE DESIGN VALUE OF AT LEAST 1800 LBS. THE TIE-DOWN DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. INTERIOR BRACED WALL LINES SHALL BE DESIGNED/BUILT PER INTERMITTENT METHOD "GB".
   -MINIMUM 1/2" GYPSUM BOARD APPLIED TO EACH SIDE OF 2X4 (OR) 2X6 STUD WALL @ 16" O.C. SPACING OF STUDS W/ DOUBLE TOP PLATE AND SINGLE BTM.
   -ATTACH GYPSUM TO STUDS W/ 1-1/4" SCREWS (TYPE W OR S), 6" O.C. AT EDGE & 6" O.C. AT FIELD.
   -ALL GYPSUM BOARD JOINTS TO BE SOLID BLOCKED W/ 2X MATERIAL
7. (**PERPENDICULAR WALL/FLOOR**) ALL FLOOR SYSTEMS BETWEEN BRACED WALL PANELS TO HAVE A MIN. 2X4 TOP & BOTTOM BLOCKING BOARD PARALLEL TO BRACED WALL PANELS W/ MIN. (3)16d NAILS ATTACHING BOTTOM/TOP OF BRACED PANEL PLATE TO FLOOR SYSTEM AT BRACED PANEL WIDTH ONLY. 2X4 BLOCKING TO BE SET BETWEEN FLOOR SYSTEM MEMBERS. SOLID RIM MAY BE USED (FIG. 5 & 6).
8. (**PERPENDICULAR WALL/ROOF**) APPLY 2X SOLID BLOCKING BETWEEN ROOF SYSTEM MEMBERS OVER BRACED WALL PANELS W/ 8d NAILS AT 6" O.C. ALONG LENGTH OF BRACED WALL PANELS WHEN HEEL IS 15.25" OR LESS (FIGURE 3, REFER TO FIG. #4 WHEN OVER 15.25").
9. **NOTE:** NOTES 7 & 8 ABOVE APPLY TO PERPENDICULAR FRAMING, WHEN PARALLEL FLOORS/ROOF SYSTEMS ARE PRESENT, THE FLOOR/ROOF SYSTEM IS TO HAVE BLOCKING MATERIAL ALLOWING FOR NAILING OF BRACED WALL PANEL INTO SYSTEM ABOVE/BELOW SAID WALL (FIGURE 6).

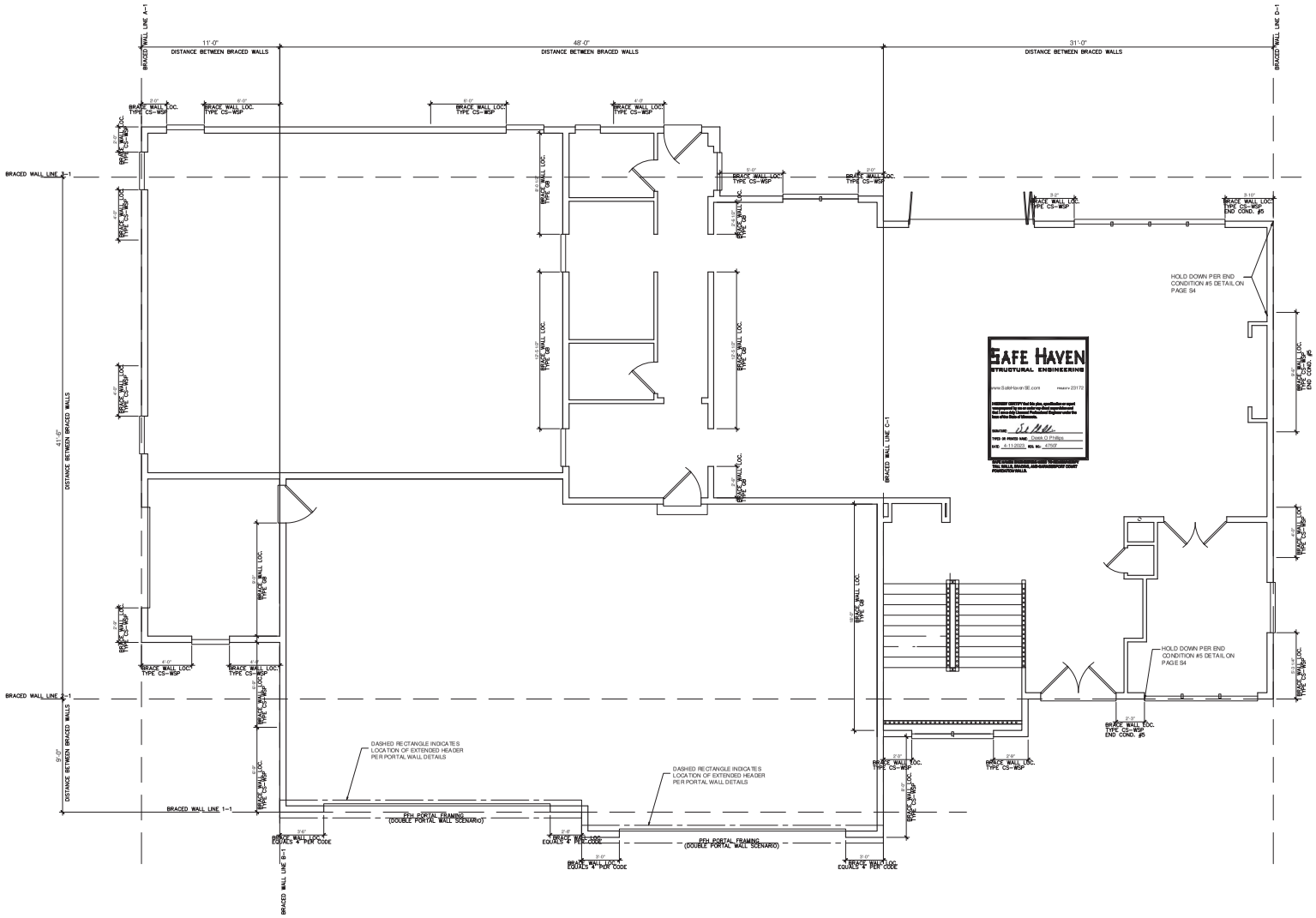
BRACED WALL PANEL UPLIFT LOAD PATH:

BRACED WALL PANELS LOCATED AT EXTERIOR WALLS THAT SUPPORT ROOF RAFTERS OR TRUSSES (INCLUDING STORIES BELOW TOP STORY) SHALL HAVE THE FRAMING MEMBERS CONNECTED IN ACCORDANCE WITH:

1. WHERE THE NET UPLIFT VALUE AT THE TOP OF A WALL EXCEEDS 100 PLF, INSTALLING APPROVED UPLIFT FRAMING CONNECTORS TO PROVIDE A CONTINUOUS LOAD PATH FROM THE TOP OF THE WALL TO THE FOUNDATION OR TO A POINT WHERE THE UPLIFT FORCE IS 100 PLF OR LESS. THE NET UPLIFT VALUE SHALL BE AS DETERMINED BY ONE OF THE FOLLOWING:
   a. THE BASIC WIND SPEED DOES NOT EXCEED 115 MPH, THE WIND EXPOSURE CATEGORY IS B, THE ROOF PITCH IS 5:12 OR GREATER, AND THE ROOF SPAN IS 32' OR LESS

      (OR)

   b. THE NET UPLIFT VALUE AT THE TOP OF A WALL DOES NOT EXCEED 100 PLF. THE NET UPLIFT VALUE SHALL BE DETERMINED IN ACCORDANCE WITH SECTION R802.11 AND SHALL BE PERMITTED TO BE REDUCED BY 60 PLF FOR EACH FULL WALL ABOVE.
2. WHERE THE UPLIFT FORCE DOES NOT EXCEED 200 POUNDS, RAFTERS AND TRUSSES SPACED NOT MORE THAN 24 INCHES ON CENTER SHALL BE PERMITTED TO BE ATTACHED TO THEIR SUPPORTING WALL ASSEMBLIES IN ACCORDANCE WITH TABLE R602.3(1)
   a. **RAFTER OR ROOF TRUSS TO PLATE, TOE NAIL**: MINIMUM (3) 16d BOX NAILS OR (3) 10d COMMON NAILS. (2) TOE NAILS ON ONE SIDE AND (1) TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS. (MANUF. METAL CONNECTOR MAY BE SUBSTITUTED, VERIFY W/ MANUF. DETAILS).
   b. **WALL PANEL TO STUDS**: CONNECTION OF WOOD PANEL TO STUDS SHALL BE MIN. 6d COMMON NAILS, 6" O.C. AT EDGES & 12" O.C. AT FIELD OF WOOD PANEL.



1 FIRST FLOOR WALL BRACING PLAN

SCALE: 1/4" = 1'-0" 1915 FINISHED SQUARE FEET / 1414 GARAGE SQUARE FEET

0 2' 4' 8'

SCALE: 1/4" = 1'-0"

REVISION:	REV. DATE:
ISLAND/FRIDGE CHANGES, REMOVED BACK WINDOW	4-14-23
STAIRCASE GABLE HEIGHT ADJUSTED	4-14-23
REVISED ITEMS PER OWNER/REVISED WINDOW SIZES	4-20-23
REVISED TO ADD LOOKOUT CONDITION ON BACK CORNER	4-25-23

DRAWING TITLE:
YLINEN RESIDENCE

LOCATION:
114 SALEM CHURCH ROAD, SUNFISH LAKE, MN

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PAGE S1

PAGE DESCRIPTION: 1ST FLOOR WALL BRACING PLAN

SCALED PRINT @ 24X36

BRACED WALL NOTES:

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7. (**PERPENDICULAR WALL/FLOOR**) ALL FLOOR SYSTEMS BETWEEN BRACED WALL PANELS TO HAVE A MIN. 2X4 TOP & BOTTOM BLOCKING BOARD PARALLEL TO BRACED WALL PANELS W/ MIN. (3)16d NAILS ATTACHING BOTTOM/TOP OF BRACED PANEL PLATE TO FLOOR SYSTEM AT BRACED PANEL WIDTH ONLY. 2X4 BLOCKING TO BE SET BETWEEN FLOOR SYSTEM MEMBERS. SOLID RIM MAY BE USED (FIG. 5 & 6).

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      (OR)

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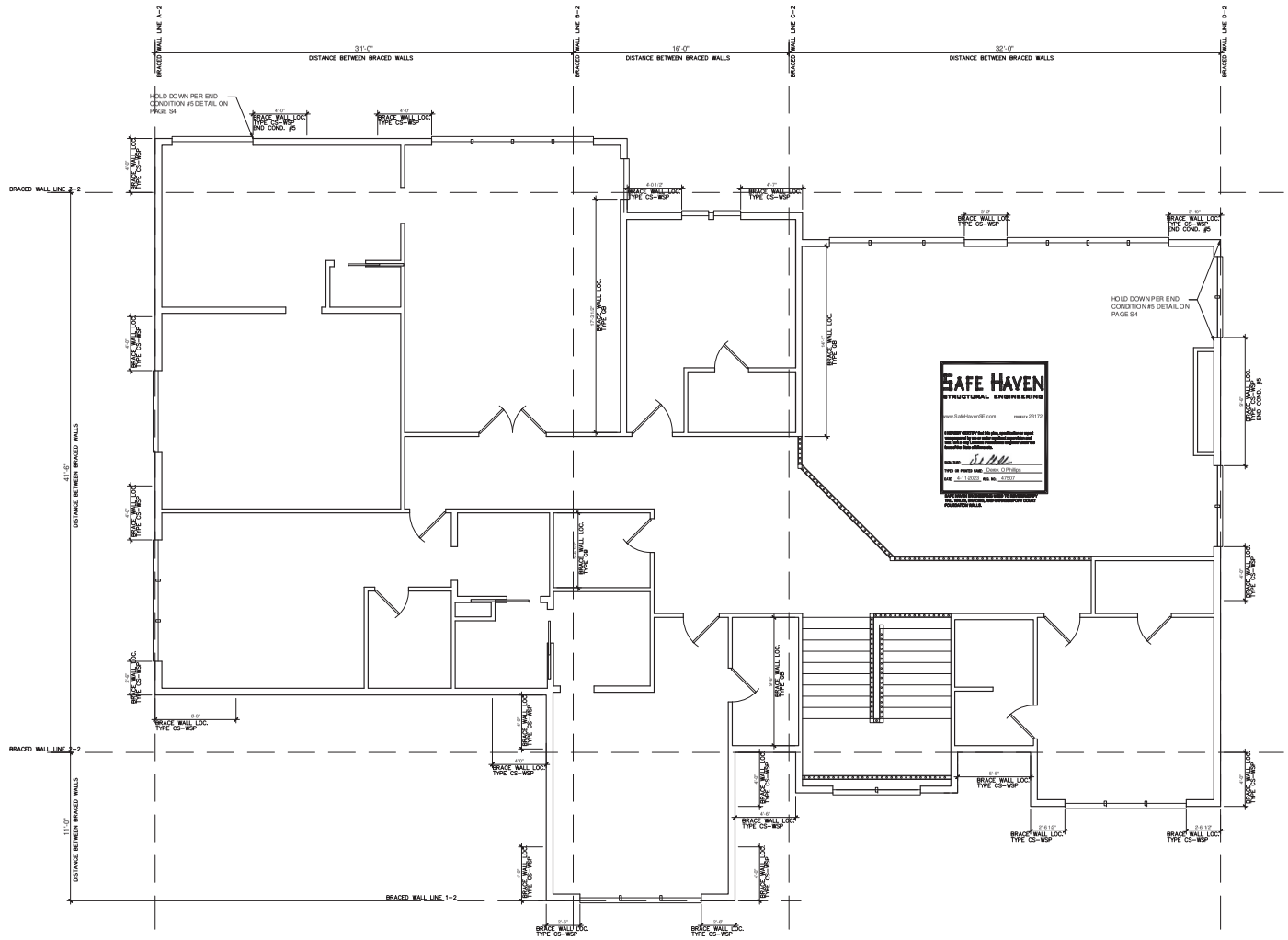

1 SECOND FLOOR WALL BRACING PLAN
SCALE: 1/4" = 1'-0"
2562 FINISHED SQUARE FEET

0 2' 4' 8'
SCALE: 1/4" = 1'-0"

REVISION:	REV. DATE:
ISLAND/FRIDGE CHANGES, REMOVED BACK WINDOW	4-14-23
STAIRCASE GABLE HEIGHT ADJUSTED	4-14-23
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PAGE L S2 D

PAGE DESCRIPTION: 2ND FLOOR WALL BRACING PLAN

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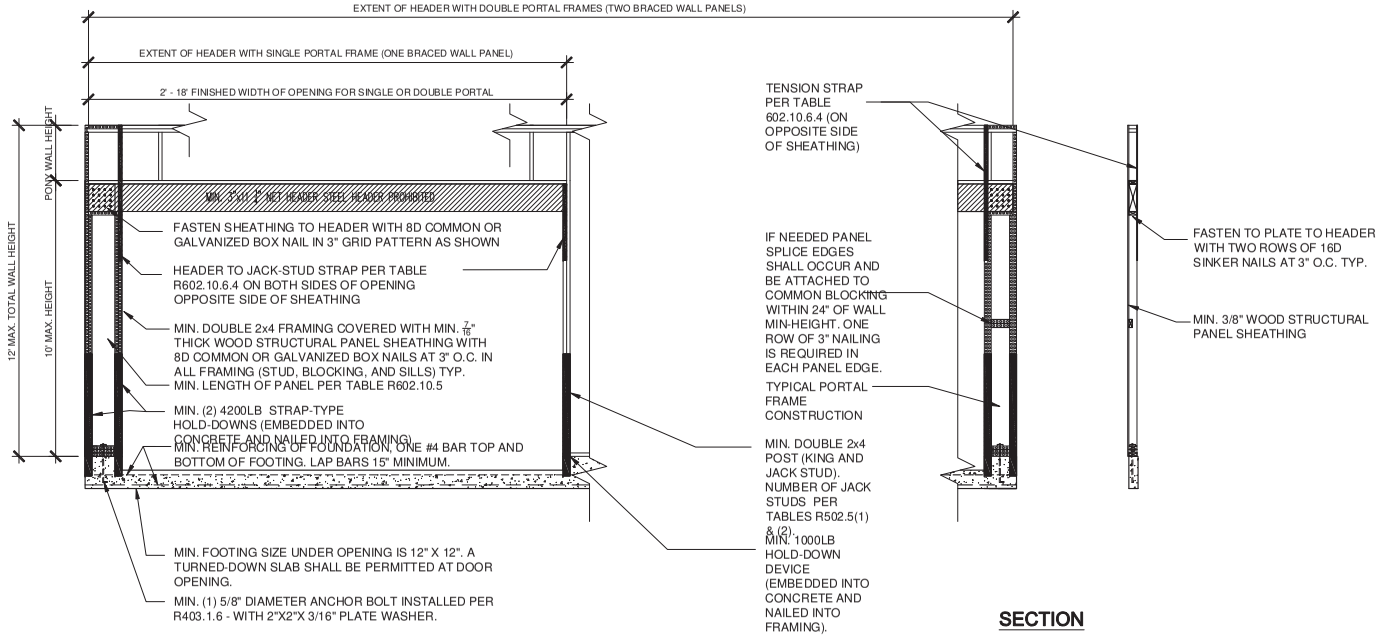


FRONT ELEVATION

SECTION

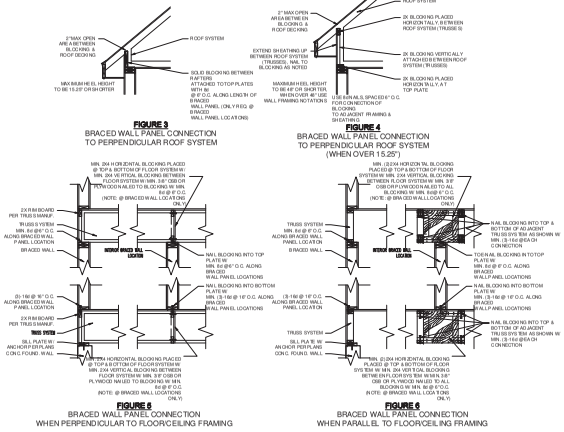
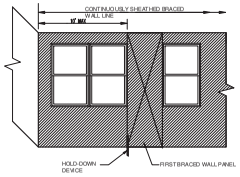


FIGURE BRACED WALL PANEL 2
METHOD PFH-PORTAL FRAME PANEL WITH HOLD-DOWNS



END CONDITION 5

HOLD DOWN DEVICE: 800 LBS CAPACITY FASTENED TO THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION OR FLOOR FRAMING BELOW

REVISION:	REV. DATE:
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PAGE S3

PAGE DESCRIPTION: BRACED WALL DETAILS

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STRUCTURAL GENERAL NOTES

GENERAL DESIGN AND CONSTRUCTION NOTES

A. BUILDING CODE
   1. 2020 MINNESOTA STATE RESIDENTIAL CODE (MSRC).

B. FOOTINGS , SLABS AND FOUNDATIONS
   1. SOIL DESIGN NET ALLOWABLE BEARING CAPACITY IS ASSUMED TO BE 2,000 PSF. NOTIFY ENGINEER OF RECORD OF ANY POOR SOIL CONDITIONS. THESE RECOMMENDATIONS INCLUDE REMOVING ALL UNCONTROLLED FILL AND UNSUITABLE MATERIAL.
   2. MINIMUM DEPTH FROM EXTERIOR GRADE TO BOTTOM OF BUILDING PERIMETER FOOTINGS SHALL BE 42", UNLESS NOTED OTHERWISE.
   3. THE EXTERIOR FOUNDATION WALLS ARE ASSUMED TO BE BACKFILLED WITH GRANULAR FILL AND HAVE DRAIN TILE TO MINIMIZE LATERAL LOADING. THE EQUIVALENT FLUID PRESSURE IS ASSUMED TO BE 45 PSF/FT.
   4. FOUNDATIONS SHALL BEAR ON UNDISTURBED, UNFROZEN SUBGRADE, EXCEPT WHERE COMPACTED SUBGRADE IS OTHERWISE SPECIFIED.
   5. PROVIDE STANDARD 90 DEGREE HOOK DOWELS BETWEEN FOUNDATIONS AND WALLS EQUAL TO THE SIZE AND SPACING OF THE VERTICAL REINFORCING UNLESS SPECIFICALLY NOTED OTHERWISE.
   6. BOTH SIDES OF THE FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY SO AS TO PREVENT OVERTURNING OR LATERAL MOVEMENT OF THE WALLS.
   7. REMOVE ALL TOP SOIL, UNCOMPACTED FILL OR OTHER POOR SOIL FROM THE CONSTRUCTION AREA.
   8. GRANULAR FILL SHALL BE COMPACTED TO 98% STANDARD DENSITY (ASTM D698-79).

C. CONSTRUCTION NOTES
   1. ANY HOLES CUT IN NEW OR EXISTING CONSTRUCTION THAT ARE NOT DETAILED ON THE DRAWINGS SHALL BE REVIEWED WITH THE STRUCTURAL ENGINEER. COORDINATE ALL HOLES AND PENETRATIONS WITH OTHER DISCIPLINES.
   2. THE STRUCTURE SHALL BE ADEQUATELY BRACED AND SHORED DURING ERECTION AGAINST WIND AND ERECTION LOADS. STRUCTURAL MEMBERS ARE DESIGNED FOR IN-PLACE LOADS.
   3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN CONSTRUCTION DOCUMENTS AND ACTUAL FIELD CONDITIONS.
   4. IN THE CASE OF HOT OR COLD WEATHER CONSTRUCTION, THE GUIDELINES SET PER THE BUILDING CODE SHOULD BE FOLLOWED.
   5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF EXISTING BUILDINGS, UTILITIES, STREETS, ETC. DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DESIGN AND INSTALLATION OF ALL NECESSARY TEMPORARY BRACING.

D. SPECIAL INSPECTIONS AND TESTING AS REQUIRED PER THE CODE.

CAST-IN-PLACE CONCRETE

A. MATERIAL PROPERTIES
   1. CONCRETE PROPERTIES:

	f'c (PSI) 28 DAYS	SLUMP INCHES	MAX. AGGR.	ENTR. AIR (%)	MAX. W/C
FOOTINGS:	5,000	3-5	1 1/2"	0	-
WALLS:	4,000	3-4	3/4"	6 ± 1.5	-
SLABS:	4,000	3-4	3/4"	6 ± 1.5	-

* USE 6% ± 1.5% ENTRAINED AIR IF EXTERIOR CONCRETE.

   2. REINFORCING PROPERTIES:

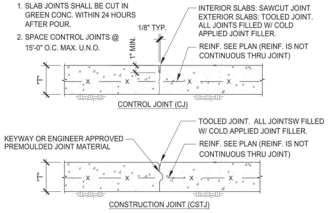
	FY (PSI)	ASTM
ALL BARS UNLESS NOTED OTHERWISE:	60,000	A615
TIES & STIRRUPS:	60,000	A615
WELDED WIRE FABRIC (SMOOTH, SHEETS):	65,000	A185
WELDABLE REINFORCEMENT:	60,000	A706
EPOXY COATING:	N/A	A775
POLYPROPYLENE FIBERS, FIBERMESH OR EQUAL:	1.5 LB/CY (MIN.)	

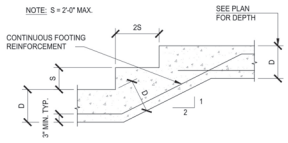
   3. CHAIRS AND BOLSTERS SHALL BE PLASTIC OR EPOXY COATED.
   4. IF CONCRETE SUPPORT BLOCKS ARE USED, THEIR STRENGTH SHALL BE EQUAL TO OR GREATER THAN THAT OF THE CONCRETE BEING PLACED.

B. CONCRETE NOTES
   1. PERFORM WORK IN ACCORDANCE WITH ACI 301 AND ACI 318.
   2. CONCRETE CLEAR COVER OVER REINFORCING STEEL SHALL MEET THE REQUIREMENTS OF ACI 318.
   3. PROVIDE A 3/4" CHAMFER ON ALL EXPOSED CONCRETE CORNERS, U.N.O.
   4. PROVIDE LAP SPLICES AT ALL CORNERS AND INTERSECTIONS, SAME SIZE AND SPACING AS HORIZONTAL REINFORCING.
   5. PROVIDE SUPPORTS AND SPACERS FOR ALL REINFORCING.
   6. CONSOLIDATE ALL CONCRETE BY VIBRATING.
   7. ALL CONCRETE SHOWN SHALL BE REINFORCED. PLANS, SECTIONS AND DETAILS SHOWN WITHOUT REINFORCEMENT ARE INTENDED TO SHOW DIMENSIONS AND DETAILS OF CONSTRUCTION ONLY. REINFORCEMENT OF THESE SECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH THE DETAILS SHOWING REINFORCEMENT.
   8. LAP ALL SPLICES 48 BAR DIAMETERS MINIMUM UNLESS NOTED OTHERWISE OR REQUIRED PER ACI 318.
   9. MIX DESIGNS SHALL INCORPORATE ADMIXTURES AS APPROPRIATE FOR ENVIRONMENTAL CONDITIONS.

C. PRECAST PLANKS
   1. PERFORM WORK IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

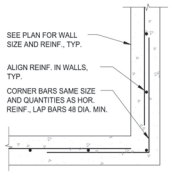
NOTE:
1. SLAB JOINTS SHALL BE CUT IN GREEN CONC. WITHIN 24 HOURS AFTER POUR.
2. SPACE CONTROL JOINTS @ 15'-0" O.C. MAX. U.N.O.



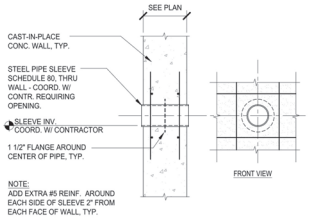


4 DETAIL - TYP. STEP FTG. (IF NEEDED)
NO SCALE

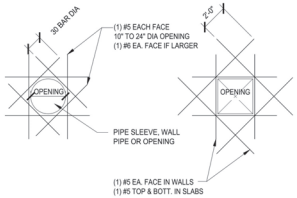
5 DETAIL - CONSTRUCTION JOINT
NO SCALE



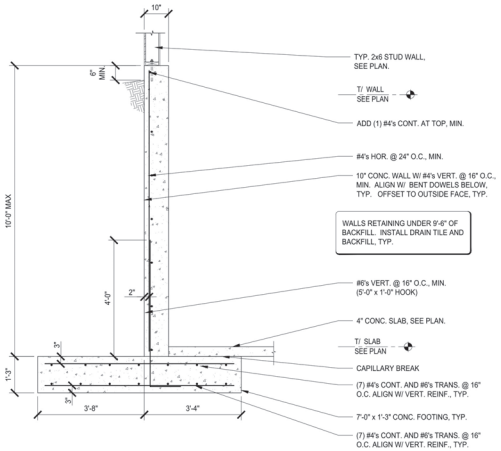
1 DETAIL - TYP. CORNER JOINT
NO SCALE



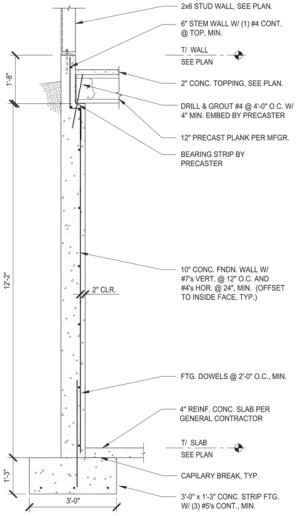
2 DETAIL - TYP. WALL PENETRATION
NO SCALE



3 DETAIL - TYP. CONC. OPENING IN WALL OR SLAB
NO SCALE



6 DETAIL - SPORT COURT RET. WALL
1/2" = 1'-0"



7 DETAIL - FRONT GARAGE BRG. WALL
1/2" = 1'-0"

SAFE HAVEN STRUCTURAL ENGINEERING
Minneapolis, MN www.SafeHavenSE.com

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

SIGNATURE:
PRINTED NAME: Derek O Phillips
DATE: 4/14/23 REG. NO.: 47507

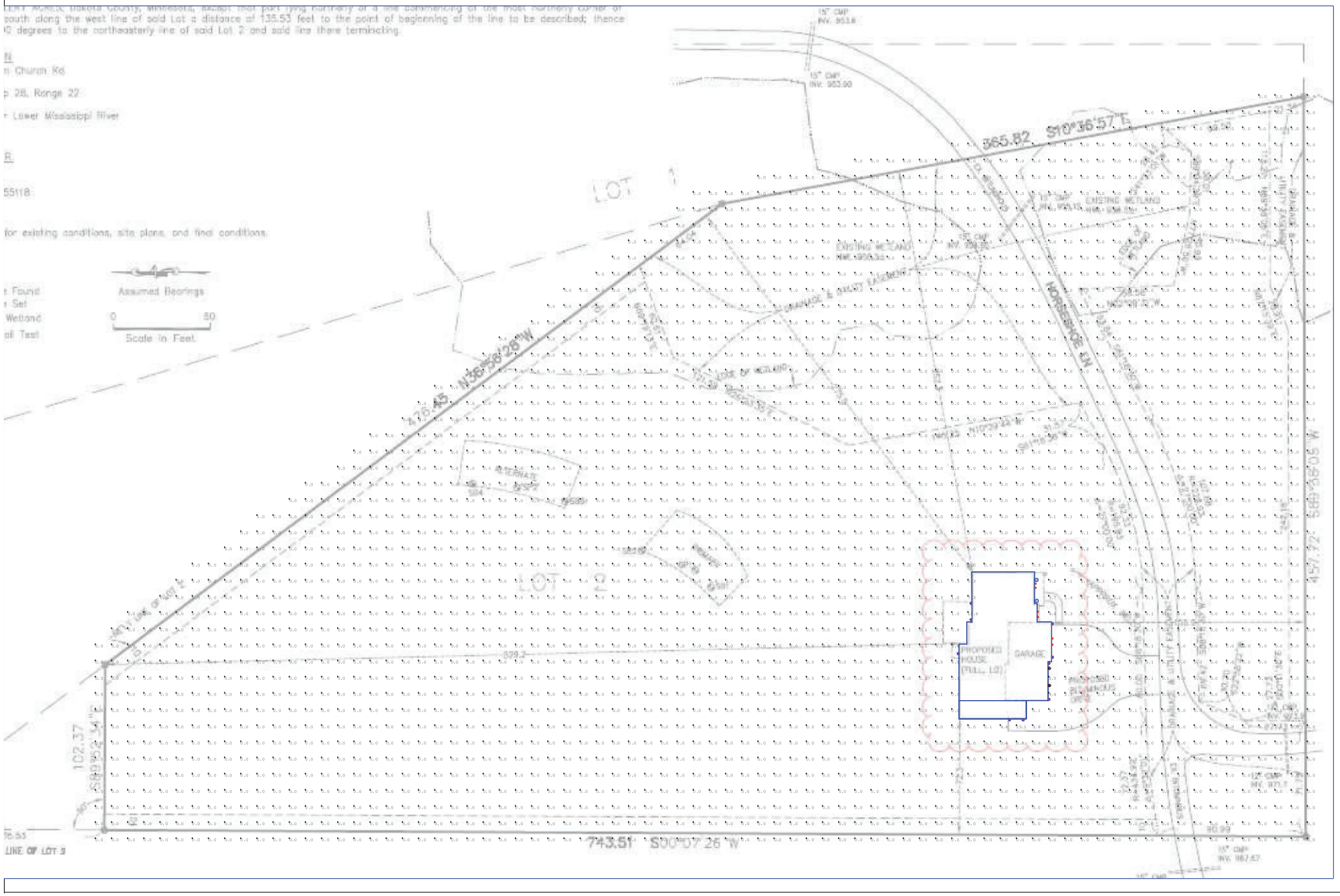
CLIENT:	LITTFIN DESIGN
PROJECT NUMBER:	23172
PHASE:	PERMIT
FILE:	23172_Ylinen_S1.dwg
DRAWN BY:	DOP
COPYRIGHT:	SAFE HAVEN SE
ISSUE DATE:	4/14/23

NO.	DESCRIPTION	DATE

STRUCTURAL NOTES & DETAILS

YLINEN RESIDENCE
114 SALEM CHURCH ROAD
SUNFISH LAKE, MN

S4



Scale: 1 inch= 30 Ft.

Prepared For: Winsupply EP

Job Name:
Ylinen Resi Site
Lighting Layout
Version A

Scale: as noted

Date:8/8/2023

Filename: Ylinen Resi Site.AGI

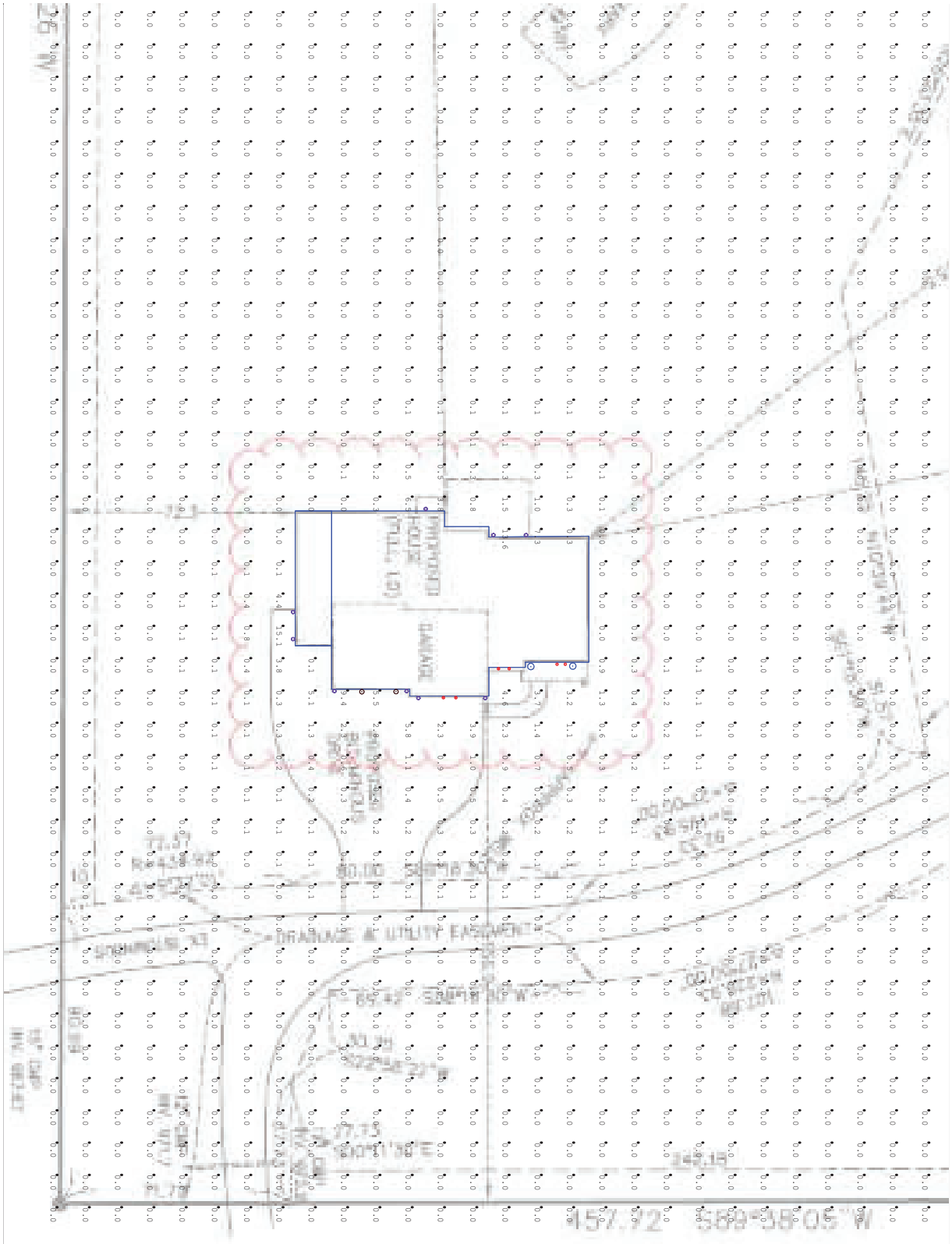
Drawn By: Eric Nephew

ROUZER GROUP

Filename: C:\Users\Eric\Rouzer Group\Rouzer Inside - Rouzer Inside Documents\RAB\Rouzer Layouts\Eric AGI\Ylinen Resi Site.AGI

The lighting designs, renderings, photos, analysis and/or other simulation illustrations shown are based on information provided by others. These design parameters and illuminations are based on information provided by others. These design parameters and illuminations are based on information provided by others. Rouzer Group assumes no responsibility for the accuracy of the information provided by others. Rouzer Group makes no representations or warranties that the fixtures to achieve illumination levels, uniformity, or design parameters may other illumination be required to achieve illumination levels, uniformity, or design parameters. Rouzer Group makes no representations or warranties that the illumination levels, uniformity, or design parameters will be achieved by the fixtures shown. Rouzer Group makes no representations or warranties that the fixtures shown are appropriate for the specified application. Rouzer Group makes no representations or warranties that the illumination levels, uniformity, or design parameters will be achieved by the fixtures shown. Rouzer Group makes no representations or warranties that the fixtures shown are appropriate for the specified application. The lighting designs, renderings, photos, analysis and/or other simulation illustrations are a part of a project construction documentation package.

Scale: 1 inch= 15 Ft.



ROUZER GROUP

Prepared For: Winsupply EP

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Drawn By: Eric Nephew

Filename: C:\Users\Eric\Rouzer Group\Rouzer Inside - Rouzer Inside Documents\RAB\Rouzer Layouts\Erics AGI\Ylinen Resi Site.AGI

The lighting analysis, estimate, layout, energy analysis and/or visual simulation ("lighting design") provided by ROUZER ("ROUZER") represents an anticipated condition of lighting system performance based upon design parameters and information supplied by others. These design parameters and may vary from those utilized by others have not been field verified by ROUZER and therefore actual measured results field verified at actual field conditions. ROUZER recommends that design parameters and other information be measured light levels of energy consumption (when available, either implied or stated with regard to actual ROUZER neither warrantee, either implied or stated, compared to those illustrated by the lighting design. of the lighting design intent as complied with any applicable regulatory code requirements, fitness or suitability those specifically stated on drawings created and submitted by ROUZER. The lighting design is intend, in whole or in part, as advisory documents for informational purposes and is not intendefor construction nor as being part of a project's construction documentation package.

Calculation Summary												
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type	
CalcPts_1	Illuminance	Fc	0.05	15.1	0.0	N.A.	N.A.		10	10	Horizontal	

******LAYOUT AND BOM ARE SUBJECT TO APPROVAL******

Luminaire Schedule												
Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	Filename
	6	A	WFRLA4R89FA120WS	SINGLE	700	700	1.000	WFRLA4R89FA120WS_2700K	7.78	7.78	46.68	wfrla4r89fa120ws-2700k.ies
	2	B	WFRD4R99FA120WS	SINGLE	675	675	1.000	WFRD4R99FA120WS_2700 K	8.53676	8.53676	17.07352	wfrd4r99fa120ws-27k.ies
	2	C	WFRD6R139FA120WS	SINGLE	1084	1084	1.000	WFRD6R139FA120WS_2700 K	12.1352	12.1352	24.2704	wfrd6r139fa120ws-27k.ies
	9	D	CDLED4W-40W-50D927-K	SINGLE	3076	3076	1.000	CDLED4W-40W-50D927-K	34.8	34.8	313.2	rab04579mod902740.ies

Expanded Luminaire Location Summary						
LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	D	685.06	139.3	8.5	180	0
2	D	693.13	160.27	8.5	180	0
3	D	693.13	170.38	8.5	180	0
4	D	717.41	97.79	7	270	0
5	D	725.8	97.79	7	270	0
6	D	744.5	137.04	8.75	0	0
7	D	744.5	157.76	8.75	0	0
8	D	742.35	133.41	8.75	0	0
9	D	742.35	111.03	8.75	0	0
10	B	742.1	119.51	18.75	270	0
11	B	742.07	130.09	18.75	270	0
12	C	734.29	171.84	11.15	270	0
13	C	734.16	184.83	11.15	270	0
14	A	734.97	165.14	26.3	270	0
15	A	734.97	161.83	26.3	270	0
16	A	733.59	182.5	26.5	270	0
17	A	733.59	179.96	26.5	270	0
18	A	743.93	148.61	26.5	270	0
19	A	743.93	144.75	26.5	270	0
Total Quantity: 19						

NOTES:
* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of the designer.

* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal Patents issued or pending apply.

The lighting analysis, estimate, energy analysis and/or lighting simulation (collectively, "Analysis") provided by Rouzer Group (sometimes referred to as "Rouzer") is intended to be used as a guide to assist the customer in the selection of lighting products and/or services by others. These design parameters and Analysis are based on information provided by the customer, and Rouzer makes no representations or warranties as to the accuracy or completeness of such information. Rouzer shall not be responsible for any other alterations or additions to the design after the date of the Analysis, or any deviations from the Analysis due to field factors or engineering or design parameters not in effect at the time the Analysis was prepared, or any other circumstances beyond Rouzer's control. Rouzer assumes no responsibility for the specification of any lighting equipment, materials or services not provided by Rouzer, or the suitability of such equipment, materials or services for any particular application or purpose. Rouzer does not assume any responsibility for the performance of any lighting equipment, materials or services when installed or used in a manner not in accordance with the specifications, or when used in conjunction with other equipment or materials. Rouzer does not warrant that the Analysis will be free from errors or omissions. Rouzer makes no representations or warranties of any kind, express or implied, including without limitation, any implied warranties of merchantability or fitness for a particular purpose, with respect to the Analysis or any part thereof. Rouzer shall not be liable for any claims or damages arising out of or in connection with the use of the Analysis or any part of a project's construction documents/plans package.

Scale: as noted

Date:8/8/2023

Filename: Ylimen Resi Site.AGI

Drawn By: Eric Nephew

Job Name:
Ylimen Resi Site
Lighting Layout
Version A

Prepared For: Winsupply EP

ROUZER GROUP

Filename: C:\Users\Eric\Rouzer Group\Rouzer Inside - Rouzer Inside Documents\RAB\Rouzer Layouts\Eric AGI\Ylimen Resi Site.AGI

Memorandum

To: Lori Johnson, AICP – City Planner

From: Jeff Sandberg, PE – City Engineer
Kendra Fallon, PE – Project Engineer

Date: August 11, 2023

Re: 114 Salem Church Road – Major Site Plan Review
City of Sunfish Lake, MN
WSB Project No. 022986-000

Project Background

The Applicant is proposing to construct a new house along with the necessary grading and stormwater management improvements on a previously unimproved parcel of land. The following review is only for the engineering, stormwater management, and site grading issues. The building compliance will be handled by the City planner and building official. Comments are based on the submittal received from the applicant on August 3, 2023 containing plans dated July 19, 2023.

The following requirements and comments need to be addressed for the project to move forward (shaded comments have been addressed):

General Notes

1. All retaining walls exceeding 42" (measured from footing to top of wall) will need engineered drawings submitted for review by the City of Sunfish Lake Building Official.
2. An MPCA NPDES permit is required as the disturbance area is over one acre. The approved permit must be submitted to the city prior to the start of any construction activities.
3. All trees identified for removal must be on the approved tree removal and preservation plan.

Stormwater Management and Storm Sewer Design

1. **Update the EOF elevation on sheets C2 and C3 to 962.4 as noted in the detail on sheet C6.**

Rate Control

1. The site is shown to be meeting rate control.

Volume Control

1. Volume control is met through the use of an onsite infiltration basin based on preliminary soils information provided by the applicant. Upon project completion and prior to acceptance of the improvements, a double ring infiltrometer testing must be completed in the basin bottom to confirm that design infiltration rates are being met. Final results should be provided to the City Engineer when complete.

Water Quality

1. As the site is meeting volume control requirements, water quality requirements are also considered to be met.

701 XENIA AVENUE S | SUITE 300 | MINNEAPOLIS, MN | 55416 | 763.541.4800 | WSBENG.COM

2. The Civil plans (Sheet C4) state that Garage drains will be routed to a containment structure for pumping removal off-site in lieu of providing an oil/water separator unit prior to discharge to the exterior.
3. The Civil plans (Sheet C4) state that the water softener discharge will drain to a rock trench to be designed by others. This plan must be submitted to the city for review and approval prior to issuance of building permit.
4. **The Operations and Maintenance Plan for the Infiltration Basin must have language added that states that the valve in the outlet manhole is to remain CLOSED at all times unless authorized by the City Engineer.**

Wetlands

1. Wetlands must be protected at all times during construction with monitored and maintained BMP's as shown on the plans.

Grading, Erosion Control and Restoration

1. An as-built survey will be required upon project completion that demonstrates the improvements were constructed per the approved plans. The EOR will be required to certify the improvements are complete and are in conformance with the approved design.
2. Post construction double ring infiltrometer testing will be required on the infiltration basin to confirm the basin is meeting the design infiltration rate of 0.45 inches per hour.
3. Upon completion of the as-built, an on-site final inspection with city staff, the builder, the EOR, and the resident will be required. Once all site and building items are deemed complete by city staff, a Certificate of Occupancy will be issued. Temporary Certificate of Occupancy is not issued unless there are extenuating circumstances and require City Council approval.

Conclusions and Recommendations

Based upon our review of the engineering, stormwater management and site grading for this proposed development, we have determined that the proposed site and grading plans submitted conform to City requirements and recommend the project advances to Planning Commission and City Council for approval.

We do require a new set of final plans addressing the two comments in **BOLD TEXT** above be resubmitted to our office prior to consideration for final approval.